

News

Tower Hamlets
set-up

had to be called in as disrupted at a Tower Hamlets council meeting last (October 2) over 'harm'. The council was to have voted whether or not to join other boroughs in maintaining the project and it was clear that the majority were going to withdraw opposition. In an eye-witness, the group then decided to proceed and chairs were put down. The police were not at the meeting without a vote being taken so, the council is not the scheme. The witness also said that the rioters were many but not from Tower Hamlets. Ken Livingstone is also to have attended.

Docklands
scheme

get in with the infrastructure easily capable of handling over 580,000sq m. It is understood that three times, with space requirements totalling almost 100m, have been agreed to go to Canary Wharf. The scheme is expected to make a major impact on the MBA.

Design work is now well advanced for the three earlier phases, including the first three towers, designed by Pederson Fox for the scheme, which will rise to a 1280m maximum permit-

ting tower will be flanked by lower rise buildings and its partner will be a five-star office building. The total floor space of the PF design will be nearly 100sq m.

At the same time, SOM are acting as a headquarters building or consortium member. Stanley, while Credit Lyonnais is having its new headquarters designed by IM Pei. Canary Wharf now has 18 buildings under construction. The consortium would see a variety of clients and national architects design within the master plan.

Improving
prospects
for Canary
Wharf plan

A GROUP of London's Labour-controlled councils have dropped their support for an "awareness raising" publicity campaign against the Canary Wharf development in London's Docklands.

The Association of London Authorities — which represents the interests of all 13 Labour-controlled councils — claims that the Canary Wharf development has "strategic implications" right across London, particularly affecting road, rail and transport systems.

By Amanda Bailille

But it cannot afford a campaign of opposition.

Instead, the newly formed London Strategic Policy Unit (LSPU) should be asked to fund the campaign.

LSPU said it was too early to comment.

Meanwhile, Alliance-controlled Tower Hamlets council said it was generally in favour of Canary Wharf because it meant jobs for local people.

New leader Eric Flounders said: "Lying in front of bulldozers will produce bodies, not benefits."

The council wanted to ensure maximum planning gain from the Canary Wharf developers.

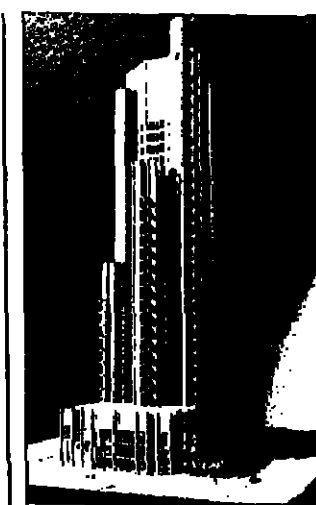
Tower Hamlets is critical of designs for West Ferry Circus — planned to act as a gateway to the development — though it has agreed not to call for a public inquiry.

The circus "lacks human scale", has to rely heavily on planting to emphasise its circular form and — despite claims — does not form a significant open space or amenity area, says a council report.

The council is negotiating alterations to the circus design

with the LDDC, which it hopes will be included in the corporation's design guidelines.

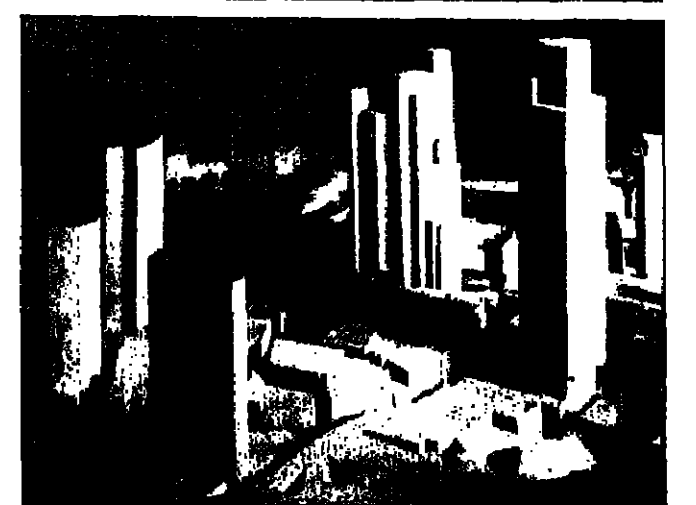
These will be published together with the master building agreement, once Royal Assent has been given to the extension for the Docklands Light Railway.



EPR's City giant

LONDON's second tallest building, at 31 storeys, will be built on a block facing London Wall and Old Broad Street in the City if applications submitted today by the EPR Partnership are successful.

The scheme, which covers an entire block, entails demolishing Winchester House, a 60s office development acquired last year by Friends Provident Life Office and Wates City of London Properties from St Martins for £65.5 million. The new building, 100 Old Broad Street, would have a value of about £300 million, and its 36,000sq m of uninterrupted floors are designed for flexibility of use and geared specially for the financial market.



The site falls outside the Bank conservation area but within the cluster of tall buildings that ring the Natwest tower. Careful consideration has been given to moderate the impact of such a substantial development of such a substantial development by positioning lower attached blocks at each end of the site while the bulk of the central tower is modelled by external service shafts. A public concourse with six points of entry occupies most of the ground level and this will contain shops, restaurants and cafes. The Royal Fine Art Commission is to view the scheme soon and a public exhibition is open from October 13-17 from 12pm-2pm at 82 London Wall, London EC2.

Architect: EPR Partnership. Project and cost consultants: John Shreeves & Partners. Structural engineers: Bunyan Meyer & Partners. M & E design: Building Services Consultants.

140000

As you can see, Hyload DPC has covered a great deal in twenty-one years.

Divis residents say
tower must go too

NS to demolish the remain- lock-access housing blocks the Divis Estate in West st exclude the 19-storey block because it does not fit from the same problems. It is this claim by the Northern Housing Executive is being disputed by residents. They admit that compared to the deck-access blocks the 19-storey block has a better security, but given the 'proper' houses on the estate, they say, some say the single reason for retention is the army post on the view it gives of the surrounding area.

The NHF proposals were put forward as recommendations to hard. Needham, the North-Ireland minister at the DOE.

His approval is required if the plans to demolish the eight blocks over seven to 10 years is to go ahead.

The Divis residents are also committed to having some say in the plans to rehouse them.

The residents have already carried out limited consultation, hampered by lack of cash, and want to involve the entire community in drawing up plans.

Drummond out

LAMBETH council architect Mark Drummond was sacked this week for talking to the press. Drummond said he would "appeal on grounds of unfair dismissal". All other charges against him were thrown out at a council disciplinary hearing.

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In that time, sales alone have clocked up over 140,000 miles. That's more than enough to cover central London or the whole of Birmingham!

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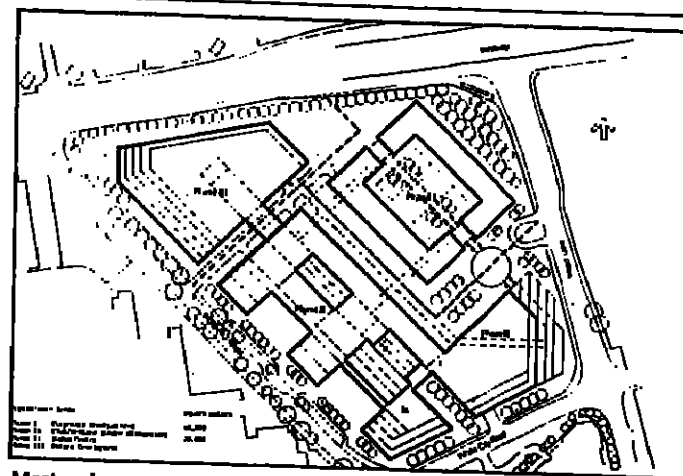
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Master plan.

BBC's White City giant

THE BBC has finally unveiled plans for its new White City headquarters, and now faces tough negotiations with the council to get the scheme accepted.

Hammersmith & Fulham council has agreed to hold another public meeting after local residents voiced concern about the proposals.

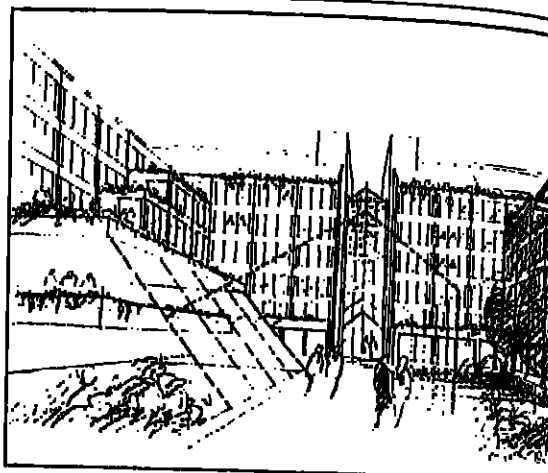
Described as a "conceptual design" the three-phased scheme has been prepared by the BBC's own architectural team together with the Norman & Dawbarn Partnership, who were responsible for the nearby Television Centre Complex.

The building's main entrance will be through a rotunda leading — via glazed walkways — to the corporation's headquarters, the radio centre, and further broadcasting facilities.

The corporate headquarters will be the first phase to be completed, occupying the north-east corner of the 7.5ha site and acting as a buffer between the radio centre — not due to be fully occupied until 1995 — Westway and Wood Lane.

External walkways will run around the building to provide further shade, and make window cleaning easier.

The design/build contract is out to tender to three shortlisted teams, Fitzroy Robinson with Tarmac, Scott Brownrigg & Turner with Balfour Beatty and Sheppard Robson with Trollope & Colls.



Phase 1 courtyard perspective.

Tower block gas fears

A LONDON borough has found it has a total of 2,500 flats using gas appliances and not strengthened to withstand a gas blast of 34kN per sq m.

And many of the homes do not even come up to the 17kN per sq m limit recommended for blocks without gas.

The borough, Waltham Forest, is to spend £24 million on remedial work on housing and up to £1.6 million on removing gas appliances.

But tenant groups fear that the large percentage of low-income families on estates will continue to use LPG (liquid petroleum gas) heaters because they cannot afford to heat their homes with electricity.

Two blocks in the borough are giving tenants particular cause for concern. Northwood Tower and Whitebeam towers, two blocks built to the BRS Battery Cast system, have been declared safe by consultants Brian Moorehead & Partners.

But tenants claim a radar survey by GB Geotechnics the surveyors who accurately predicted the faults in Ronan Point — shows these two blocks are the most dangerous of Waltham Forest's towers.

Tenant representative Keith Rayner is calling for a special general meeting of the council's housing committee to consider Moorehead's report and that of GB Geotechnics.

THE tenants pressure group largely responsible for the evacuation and demolition of Ronan Point is campaigning for the 1968 public inquiry into the collapse of the notorious tower block to be reopened.

The Newham Tower Block Tenants campaign is claiming a massive government cover-up into why the faults in Ronan Point were never discovered despite at least two major investigations into the 21-storey block in East London.

Hugh Griffiths QC, who presided over the inquiry into the collapse in 1968, said: "The standards of both workmanship

and supervision have been painstakingly investigated. It is no exaggeration to say that the building has been put under a microscope."

But the tenants are complaining that either the tests were not done properly or, if they were, the findings were suppressed. Following questions asked in the House of Commons in 1984, the Government gave access to the public inquiry documents to the tenants' technical advisor, Sam Webb.

He found many of the documents were missing and on subsequent visits, key papers which he had seen before had been removed. Experts working for the

tenants group claim to have evidence that much of the strengthening and rebuilding on Ronan Point carried out after the fatal explosion in 1968 was badly done as the initial construction.

The controlled demolition of the block has reached the 16th

floor and this week contractors have found evidence of bad workmanship in joints in the parts of the building reconstructed after the explosion and collapse in 1968.

Demolition contractor Griffiths McGee discovered floor sweepings and newspapers dat-

ing from 1972 in the wall panels of flat 77 on the north-east corner of the block.

The tenants campaign says this shows the same degree of bad workmanship and lack of attention to safety factors went into the block when it was rebuilt as went in before.

Building Design is in contact with George Henshaw, architect who left Taylor Row-Anglian in 1988 with last known address at Wick in Sussex. Would anyone who knows his whereabouts please contact us.

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Tower Hamlets bust-up

POLICE had to be called in as violence erupted at a Tower Hamlets council meeting last Thursday (October 2) over Canary Wharf.

The council was to have voted over whether or not to join other Labour boroughs in maintaining opposition to the project and it was becoming clear that the Liberal majority were going to vote to withdraw opposition.

According to an eye-witness, the Labour group then decided to break up proceedings and chairs were thrown. The police were called and the meeting was dissolved without a vote being taken. Even so, the council is not opposing the scheme.

The same witness also said that among the rioters were many known not to be from Tower Hamlets. Ken Livingstone is also reported to have attended.

Docklands scheme

from page 1
520,000sq m with the infrastructure easily capable of sustaining over 580,000sq m.

It is understood that three companies, with space requirements totalling almost 140,000sq m, have board approval to go to Canary Wharf and are expected to make commitments once the MBA is signed.

Design work is now well under way for the three earlier commissions, including the first of the three towers, designed by Kohn Pederson Fox for the consortium, which will rise to the full 280m maximum permitted.

The tower will be flanked by two lower rise buildings and its top quarter will be a five-star hotel. The total floor space of the KPF design will be nearly 200,000sq m.

At the same time, SOM are designing a headquarters building for consortium member Morgan Stanley, while Credit Suisse/First Boston is having its building designed by I M Pei.

Canary Wharf now has 18 remaining "development parcels". The consortium would like to see a variety of clients and international architects designing within the master plan.

Divis residents say tower must go too

PLANS to demolish the remaining deck-access housing blocks on the Divis Estate in West Belfast exclude the 19-storey tower block because it does not fit the same problems.

But this claim by the Northern Housing Executive is long disputed by residents. They admit that compared with the deck-access blocks the tower with its single entrance, has better security, but given the choice residents would like to live in "proper" houses on the ground, they say.

Some say the single reason for its retention is the army post on top and the view it gives of the surrounding area.

The NIHE proposals were put forward as recommendations to Richard Needham, the Northern Ireland minister at the DOE.

Improving prospects for Canary Wharf plan

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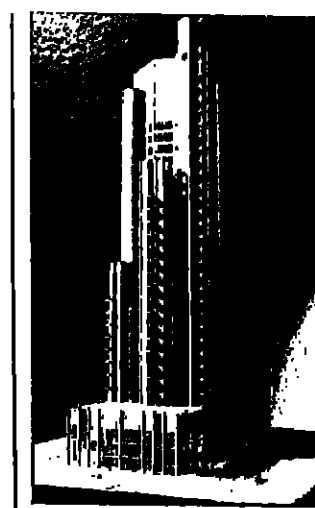
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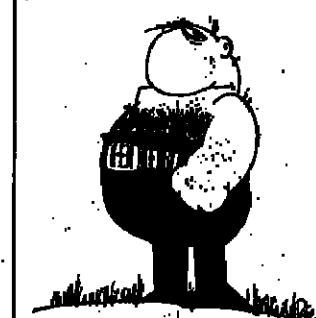
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Koch finds his gallery

... signing off ...



A BOLSTER

The quest of the wealthy American Edward Koch, to find an English home for his 19th century art collection, is over.

Sutton Place (above) — one of the finest Tudor houses in Britain — was bought by Koch this week for an undisclosed sum. The house was put on the market in May at more than £8 million.

Formerly the home of John Paul Getty, the Grade I listed building boasts, among other things — four galleries, a sophisticated air security and humidifying system, and new smoke detectors in all of the main rooms.

Koch had been negotiating to buy St John's Lodge in Regents Park, but had to abandon his plans after English Heritage rejected his proposals to alter the interior.

Sutton Place is set in 145ha of landscaped gardens and grounds, and overlooks one of the largest domestic lakes in Europe, built by the last owner, Stanley Seeger of Wisconsin.

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ABC

USM firm names day for flotation

DEALING in the shares of architecture's second recruit to the Unlisted Securities Market will begin next Wednesday, October 15.

Whinney MacKay-Lewis launched their placing document yesterday in preparation for the flotation on Wednesday. The document includes details of its plans for future growth, share price and rating and profit forecast for the year ending April 1986.

Consortium anniversary

A SYMPOSIUM to mark the 25th anniversary of the Second Consortium of Local Authorities is being held in Gloucester next week.

Property Services Agency design director, Bryan Jefferson, will be delivering the keynote speech at the meeting, which takes place on October 14 and 15.

Further details from Ian Cook at the consortium's Gloucester headquarters, tel 0452 25241.

Regulations a problem

ARCHITECTS have yet to come to grips with the revised Building Regulations and are relying too much on building control officers for advice, says Harry Chesterton, president of the Institute of Building Control. He criticised the profession during a debate on the building industry chaired by television personality Cliff Michelmore.

Honorary nominations

RIBA members are invited to submit nominations for honorary fellowships to be awarded in 1987.

Anyone except Britons eligible for corporate membership of the Institute may be elected by reason of their "eminence and interest in architecture and the arts and science connected therewith considered by the council to be

eligible for the honour of honorary fellowship". Nominations should be sent to the Patrick Harrison by December 31, including the name and address of the nominee, and a brief statement on why the award should be given. If the person's work is not widely known, references to sources of information would also be helpful.

Atwell calls for Whitehall cash boost to halt decline

THE Government is toying with the problems facing Britain's crumbling public sector housing and infrastructure, claimed RIBA public affairs director David Atwell this week.

In a speech at the Building 86 exhibition in London, Atwell condemned Government failure to let local authorities use capital receipts for housing repairs, and called for a major increase in funding.

He said a gradual build-up of capital investment in the public

sector was essential if we were to avoid an accelerating decline of our building stock.

Better management and maintenance policies for housing estates were also necessary, while demolition of tower blocks or deck access estates should only take place if repair was too expensive to consider.

Atwell argued for local authorities to remain the catalyst for initiating work to solve the inner-city crisis.

"The creation of urban development corporations and

moves towards concentrating power and funding in government will not solve the problems of local communities and accountability."

But he urged greater involvement of the private sector in partnership with council, praising the partnership scheme launched by contractor Lovell.

Combining on freeport plan

The West Midlands Freeport development at Birmingham's International Airport has just been completed by a consortium of local architects. The freeport—the first inland project of its kind in the UK—consists of 11 large warehouses together with a cargo centre.

The centre, which is the size of a soccer pitch includes office space. The 11 warehouses in the freeport area itself can be sub-divided into smaller units.

The practices involved in Associated Birmingham Architects are Phillips, Cutler, Phillips, Troy and Temple Cox Duncan.



Councillors want say on colours

COUNCILLORS in Oxford want to introduce an extra stage of consultation with architects over the colours and materials used on council housing.

At a council meeting last week members of the housing committee suggested they ought to have more say on matters of taste versus durability.

But director of housing Bill Brown said: "I think in terms of material use the most important thing is maintenance."

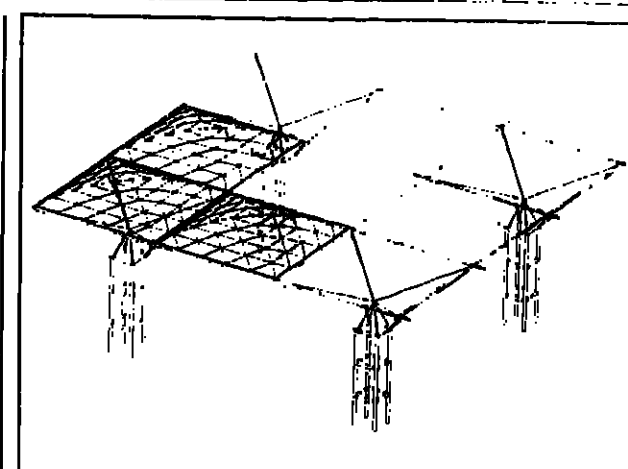
Council officers will now report back on the feasibility of an extra consultation stage.

Demolition plan

TAUNTON Deane Council is to demolish 100 pre-cast reinforced concrete homes on the Holway estate in Taunton because of the high cost of repair. The estate will be rebuilt.

Arups hired for Foster's new Stansted terminal

Ove Arup & Partners have been appointed consultant engineers to the British Airports Authority for the initial phases of the new passenger terminal at Stansted Airport which has been designed by Foster Associates. The contract, which covers a prestressed steel roof, the terminal building and part of the forecourt, entails the use of 2,800 tonnes of steel (welded with 110,000 bolts, lugs and brackets), 450 of profiled metal deck, 35,000 cubic metres of concrete and 5,000 tonnes of reinforcement. The terminal roof, illustrated here, is designed to give 36-metre spacing in the concourse, while roof panels only have to span half that distance. Erection is scheduled for the spring and summer of 1987. Arups at the Academy pages 30-35.



News

US survey finds architects working without insurance

MANY American architects are working without adequate insurance cover because it is so difficult to obtain.

This alarming state of affairs is revealed in a report by the executives of six top architectural and engineering companies together with the US Society for Marketing Professional Services.

It says the number of insurers for architects has dropped from 12 to three and that the chances of an architect or engineer being refused insurance range from

one in four to three in four.

One of the authors, James Poirer of Corvallis, reported that his company's cover had dropped from \$100 million to \$6 million in three years and that it was doing \$300 million of work without cover.

By John Wood

"We will now walk away from high-risk projects if the clients won't indemnify us with insurance," he said. "We have walked away from more than \$10 million in fees during the last six months alone."

Other companies were said to be "self insured" to a much greater degree than they were admitting publicly.

In their defence, the report says that less than half the claims against architects come from clients and that more than two-

thirds of cases are found in their favour.

Architects have been tackling the problem by either agreeing a limit to liability in the contract or by exploiting a US law which allows large clients to include design work in their insurance cover.

The report costs \$7.50 from SMPS, 801 N Fairfax St, Alexandria, Va 22314 JS.

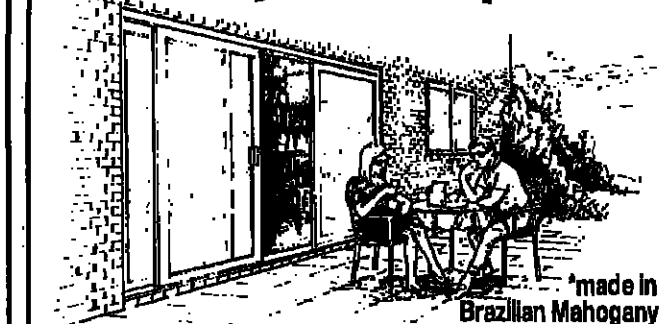
● Lester B Knight & Associates of Chicago is being sued by the Illinois Capital Development Board over the design of the air-conditioning in its Chicago offices (architect Helmut Jahn).

It is claiming damages and attempting to force the company to repair the cooling system for its 17-storey block arranged around an atrium, but Knight claims it meets client specifications.



Refurbishment of the Birmingham Hippodrome to give it a new facade took a mere 10 weeks from initial briefing to final fixing by Alan Batchelor Associates. Architects Seymour Harris Partnership specified mauve, cream and white Alcad gyp for the main facade panelling, and for decorative canopies, copings, finials and cornice detailing. The contract completes the fourth phase of a refurb and redevelopment programme undertaken by the Theatre Trust since 1980. The former West Midlands County Council provided a £350,000 grant for the work.

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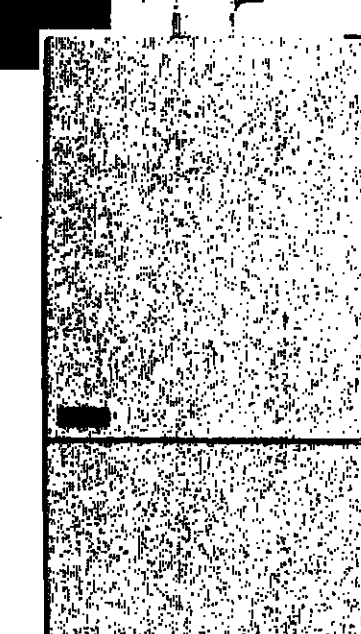
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Builders hit by council VAT policy

BUILDING firms in the Midlands are being forced to suffer unnecessary financial hardship over VAT payments because of Birmingham City Council's payments policies, local contractors claim.

The council's VAT payment system forces firms to break the law or suffer severe cash-flow problems, according to one contractor.

Builders working on urban renewal projects are given monthly payments for work carried out. They then have to pay VAT on those payments. But the council does not make a VAT payment to the builder until completion of a job, which could be up to a year later.

The council has pledged an immediate investigation and has promised to change the paying system if necessary.

Lambeth cash plea

LAMBETH council says £148 million must be spent on housing in the borough next year to avoid a "housing disaster".

Lambeth's claim is made in the borough's 1987-88 Housing Investment Programme (HIP), the annual cash bid to the government for new house-building, renovation and repair.

Engineer's claims on Ronan Point shock local team

VOIDED joints found in Ronan Point are well within safe tolerance levels, according to one of the engineers responsible for supervising the original design for Taylor Woodrow Anglian.

Barry Rusoff of Phillips Consultants, the firm which supervised all of the blocks built to the Larsen Nielsen system in this country, told *BD* "the flank wall joints do not need to be fully packed" and only 50 per cent of the mortar specified could be sufficient.

He conceded that the H2 joints at the bottom of the tower would be carrying more "dead weight" and consequently would need more mortar to support the loadbearing flank walls, but said: "Some voiding would not make them unsafe."

Rusoff's claims have shocked local authority experts examining the findings in the controlled demolition of Ronan Point. They have labelled the voiding as a "major defect".

The London Borough of Newham has found:

- Hand-packed mortar in the H2 joint is up to 50 per cent less than specified by the building's designers.
- The in-situ concrete is poorly compacted with voids existing beneath the horizontal reinforcement bars.

By Alan Thompson

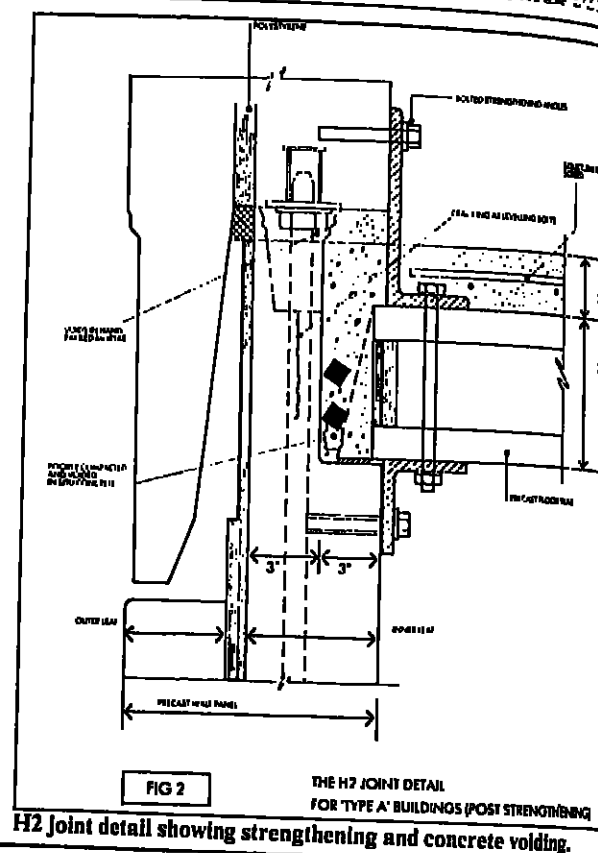
- Levelling nuts had not been wound down after the hand packing had been carried out and a significant amount of the load was being transferred via the bolts.

These defects have led to uncertainty over the actual path for the flank-wall loads. Newham's engineers have found that the strengthening angles were taking some of this load and that the flank wall joints would rotate under extreme loading conditions.

This could cause an alteration from the existing load path to one which had not been proven and there could be no guarantee on the stability of the building in a fire or if an explosion occurred.

Ronan Point campaigner Sam Webb said: "If the explosion which caused the collapse of Ronan Point in 1968 had not occurred, the block is so badly built it would have fallen down on its own accord."

Newham is not taking any succour from Rusoff's remarks. In fact the borough is particularly worried about the standard of workmanship on the lower floors. Engineers say workmanship at that level is more critical.



Seminar aims to put faith into the planning system

A DEVELOPMENT Control seminar to explore how the Christian faith should affect planning is being held by the Association of Christians in Planning & Architecture on Saturday, October 18, at the St Clement's Family Centre, Cross Street, Oxford.

Speakers will be Pete Broad-

bent, chair of development and planning for Islington council, and Peter Robottom, the borough planning officer for Brighton.

Tickets cost £10. Details from the University and Colleges Christian Fellowship, 18 De Montfort Street, Leicester LE1 7GP, (0533) 551700.

The future of cities

A CONFERENCE on the future of city centres sponsored by Yorkshire branches of RIBA, Royal Town Planning Institute and Royal Institution of Chartered Surveyors will be held at Kings Manor, York, October 15.

Details from RIBA Yorkshire Region (0532) 456250.

Commercial hitch for Spitalfields

DISAGREEMENT over the future of Spitalfields Market is threatening to delay redevelopment plans by architect Richard MacCormac and developer London & Edinburgh Trust.

The City Corporation, which wants maximum commercial value from its Shasite, is at odds with the planning authority, Tower Hamlets, which wants to limit the office space but increase the housing, open space and amenities.

MacCormac is working on radical changes to the original scheme following requests from Tower Hamlets that the office content be limited to 50 per cent of any development of the area.

But a spokesman for LET said: "A middle way between the City and Tower Hamlets has to be found, otherwise there will be no development at all."

The council has still not seen the scheme by developer Stuart Lipton, with a master plan by Leon Krier. Krier has met Tower Hamlets twice, but is said to be a long way from producing a first draft.

Housing plan

HAMMERSMITH & Fulham council is planning several schemes to cope with rising homelessness including a short-stay development unit, locating sites for new hostels, and a new-build programme.

Tiny entry for Drawings competition

THE RIBA's search for an architect to design a drawings gallery for Portland Place has had an embarrassing start.

The competition for this prestigious project, launched in July, attracted just 30 entries by the closing date of September 30.

Norman White, of the institute's Clients Advisory Service, admitted the tiny entry was "disappointing".

But he suggested: "Perhaps

Many potential competitors may have been deterred by the vagueness of the entire project.

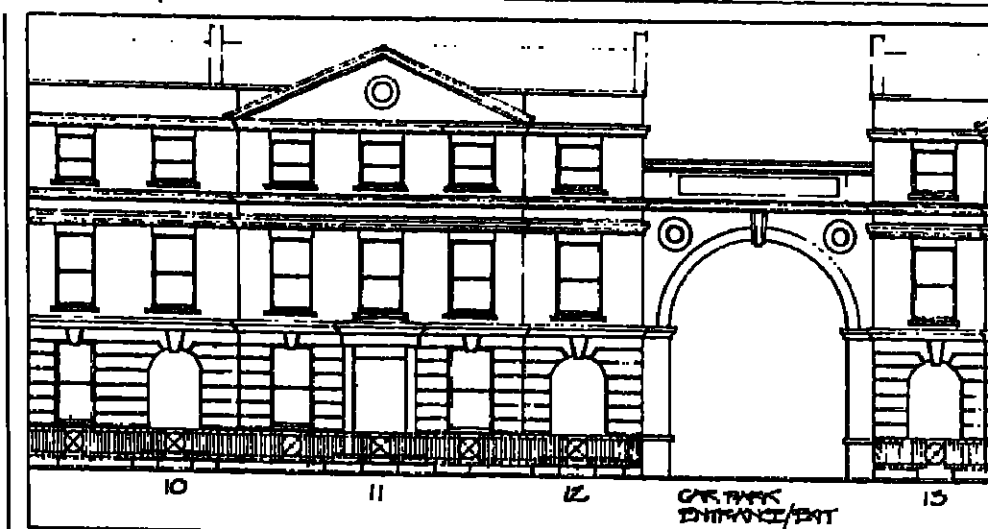
The competition's first stage simply asked for an A3 panel demonstrating the entrant's design ability, a CV no longer than two sheets of A4 and 250 words on their approach to the project.

The shortlisted six will be given the competition brief and be expected to attend a "teach in" at the RIBA on the history of the scheme.

They will receive a premium of £3,000 and be required to make a presentation of their approach to the problem.

The winner of this stage will be commissioned to take the proposals to the final design stage.

But the competition's rules state that the project depends on necessary funds being raised and admits that the institute is unable to give a commitment to build the whole of the work and that a phased development may be necessary.



Site lined up for transformation

A major development is set to transform a derelict 0.75ha site in the West Greenwich conservation area. The project comprises an 80-bedroom hotel designed by Building Design Partnership, a sheltered housing scheme by Twigg Brown & Partners and an office, retail and housing scheme

(pictured) by Moxley & Frankl, not Moxley Jenner & Partners as reported in the September 12 issue. The project will provide a new site for the market which occupies part of the land and parking for 150 cars. It has also secured a £728,000 urban development grant from the DoE.

Corn Exchange scheme back to the committees

ALSOP Barnet & Lyall's plans to cut a 5m diameter stair entrance into the basement floor of the Corn Exchange have been referred to yet another council meeting for further talks.

The controversial scheme, which is part of a plan to turn the Grade I-listed building into a major shopping complex, has been referred to a special joint meeting of the planning and development committee, the industry committee, and the

municipal services committee.

These three groups selected the scheme, backed by developer Mount Provincial & Speciality Shops, after considering other proposals which were aesthetically more acceptable but not as financially viable.

Alsop Barnet & Lyall plan up to 2,000sq m of retail space for the building. They expect to put in a planning application at the end of the year.

Ridley plan attacked

STRONG criticism of the environment secretary's consultation paper on the future of development plans has come from the Association of County Councils.

It says national government should interfere less in county planning rather than give councils a detailed blueprint, and claims the environment secretary's intervention is the main cause of delay.

Normal fire regulations require that any shopping mall, no matter how large or small, must have fire ventilation.

When it can take up to 30 minutes to empty a crowded shopping centre, but only 3 minutes to fill it with deadly smoke, fire ventilation can be a major concern.

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The design team for the Broadway Centre, Bexleyheath which comprised 72 shopping units, 5 major stores, 2 floors of car park, loading areas and everything else it takes to create a major shopping centre, were faced with just such a problem.

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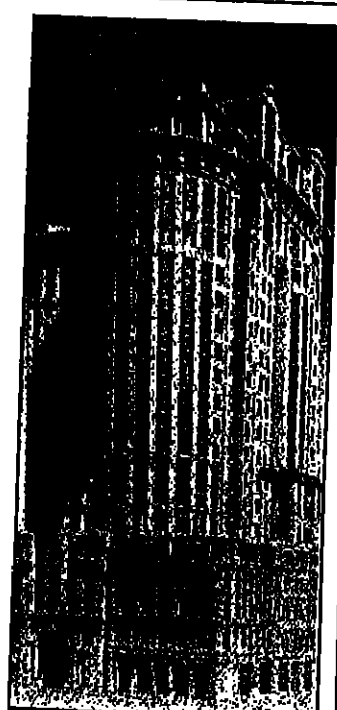
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Victorian values, to the tune of \$75 million and \$100 million dollars respectively, are back in American real estate. These towers, by Albert C Martin for Los Angeles (left) and Kahn Pederson Fox for Boston, are both expected to be ready for occupation by autumn 1988. Both are intended to complement their historic neighbours. The former is in the "French Renaissance" style of the Loire Valley and the latter incorporates four existing buildings that wrap around the site at ground level.



Message for designers on Legionnaire's Disease

INCREASED uniformity in design, installation, operation and maintenance of equipment is needed to combat the spread of Legionnaire's Disease, says a top Property Services Agency official.

Ronald Oughton, head of building services at the agency, told a London conference that architects and developers need to understand more about the disease to be able to fight it.

Designers should also acknowledge that their role goes beyond seeing the job built. They should also ensure the equipment (in this case the air-conditioning equipment) is easily operated, maintained and replaced if necessary.

Another speaker questioned the current policy of switching from wet cooling towers to a refrigerated dry alternative.

Christopher Bartlett, of the Communicable Disease Sur-

By Alan Thompson

veillance Centre, said it would be better to spend money on maintenance.

His research showed domestic hot water systems were more likely to spread the disease than air-conditioning.

There are up to 200 reported cases of Legionnaire's Disease in Britain each year. To date the outbreaks have been associated with hotels and hospitals, usually in males over 55 who

smoke and who have an underlying illness.

Legionella pneumophila bacteria is common and develops in water.

The organism is found in rivers, lakes, and wet soil and has been found in 60 per cent of public and hospital buildings.

The most common locations for the bacteria in buildings are in the hot-water service systems and air-conditioning cooling water systems.

The infection route requires the contaminated water to be sprayed into the air and for this aerosol to be inhaled by an "at risk" person.

Dr Geoffrey Brundrett, of the Electricity Council Research Centre, said engineers and designers must acknowledge that there is a "strong likelihood" of very low concentrations of the micro-organism existing in all open water systems. It was up to them to prevent multiplication of the cells.

The most favourable conditions for multiplication of the bacteria are temperatures of between 25 and 40deg C. The multiplication rate declines at higher temperatures and ceases completely at 45deg C. At 70deg C the organism is killed instantly.

At the lower end of the scale, although the bacteria does not multiply below 20deg C, it can lie dormant at temperatures

below freezing and activity whenever temperatures rise.

Water aerosols are mainly by hot-water heating and spraying, as sprays, evaporative systems and whistles and spas.

Hot-water services are designed to come to a volume of water at 60deg C which is distributed as needed. Long "luggage" should be used to cold-water supplies thermally isolated in pipes to keep hot water out of the baggage zone.

The fatal outbreak at a hospital occurred in warm weather began cooling circuit for the was called into most service.

This led to more tower water reaching temperatures and longer at these higher temperatures.

The water was the temperature where it could multiply rapidly.

Bisocides in the hot water accidentally under test net result that bacteria contaminated the water into the hospital cooling via an inlet supply.

The conference was used by the Air-conditioning Industry Board.



Ron Oughton, head of building services, PSA - check equipment.



Geoffrey Brundrett, Electricity Council - basic measures.

Design steps to take

Dr Brundrett recommended that designers should:

- specify equipment which avoids keeping water at between 20 and 45deg C;
- take steps to minimise the dispersal of water as an aerosol by incorporating draught eliminators

in cooling towers minimising splashing pressure taps and shower separate "at risk" from contaminated water; locate the cooling away from openable fresh-air inlets.



David Backhouse & Associates have spruced up an 18th-century Manchester into a major shopping centre by the addition of a "Contemporary" type rear atrium. Glasswork for the atrium is supplied by Muller's PPG.

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HRH The Prince of Wales, 13 June 1986

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Methods unfit for Third World

From John Shelley, Overseas Development Administration
I AM still trying to decide what lessons are to be learned from Jim Antoniou's article (September 12), for every proposal he makes, he explains elsewhere why it cannot work.

Of course we can all quote apocryphal stories such as his about the German prefabricated school system. We all know, too, the story about granny's body on the roof rack. He is correct in saying that foreign financing usually implies centralised management; with most bilateral or multilateral aid being on a government-to-government basis and frequently comprising large programmes; there is no workable alternative, particularly when one is dealing, for example, with one project for several hundred schools.

In one paragraph he champions the cause of building with local materials, such as the mud of Sudan, but shortly afterwards admits that the consequent reduction in quality of construction results in inadequate maintenance. What could be more inappropriate than that? Not to speak of the acute absence of local construction capability!

No responsible aid organisation puts money into the bricks and mortar of school buildings without regard to the overall teaching situation, teacher/pupil ratios, class sizes and teaching methodology etc, and a suitable teaching environment, as created by the school building, is just one more teaching aid.

In the really needy situation one may well have an enrolment of 100 or more in a primary school with only one teacher, and an age distribution from 30 per cent in standard 1 to 5 per cent or less in standard 7. Combine this with the introduction of learning by doing rather than learning by rote, and you have, inter alia, the requirement for a large, flexible area, with high natural lighting levels, but adequate shading, good cross-ventilation for children squatting on the floor, but protection from driving monsoon rains.

In 25 years of involvement in building in the less developed world I have come across few, if

any, traditional building techniques which could produce such a building: what have I missed, Jim?

Even when one could possibly involve the community in the building process—and presuming that they have any time and energy left after their struggle for survival—there remains the problem, which he identifies, of the technical assistance necessary to organise this. 100 scattered schools could require 100 competent organisers, and developing countries do not have these kind of manpower resources.

As to involving the beneficiaries in the design process and in deciding priorities, in my scenario, (and one present involvement) the beneficiaries are 5-9-year-old children, of illiterate tribal families who may have never seen a permanent school building. With the best will in the world, I cannot see what positive contribution they can make. They can, however, make very negative contributions, as I know to my cost. If the next village has a "pukka" building, of the entirely inappropriate type which Antoniou illustrates, perhaps with a leaky flat roof, small windows and as hot as an oven by the end of the day, that is apt to be the limit of their conception and ambition; that is what they will ask for, and anything different will be inferior.

Antoniou's delightful sketch illustrates precisely the type of inappropriate, engineer-designed, "pukka" school building prevalent on the Indian sub-continent, with its equivalents worldwide, which we are trying to move away from. But did it not occur to him that the reason for the classes being held outside might be because the outdoor environment was better than indoors and a better place to teach, particularly if there is a shady tree nearby? This is no barrier to learning: witness the rise to power of Dr Banda, president of Malawi, who never tires of reminding us that his primary education took place under a tree.

In fact, I would dispute entirely Antoniou's final contention. Nowhere in the world has the lack of a cost-effective building meant no primary school. If there is a teacher there

will be a school; in a rented room, under a tree, in a cowshed while the cows are out, or against a wall in the open air; the building, however important its contribution, is the least important element in the equation. A good primary school teacher will teach well anywhere, but the best building money can buy will not help a bad teacher.

The lessons I have learned are that one should utilise local techniques and materials as far as is possible without compromising the function of the classroom; to provide the minimum acceptable structure, perhaps no more than a skeleton frame or two end walls and a roof, and to try, through the teachers, to provide guidance as to how the community can be involved in the further improvement of the school.

In a current project in India, the local project architect is producing a teachers' handbook with ideas for building improvements, site development, play sculptures, advice on tree planting, simple furniture, space dividers, display screens etc, designed to be made with local, possibly free, materials and written in the local language. This, I am sure, is the better way to involve the community. Limited financial resources can then be concentrated on providing a basic, sound structure that will withstand the probable complete absence of maintenance.

John Shelley
London SW1

Minefield of admissions

From P E Goodman, Portsmouth Polytechnic
FRONT page alarm and despondency seems to be the hallmark of Amanda Baillieu's article (September 19).

The Portsmouth school of architecture has not been "thrown into confusion" and there will be eligible students "without places" under any system unless every higher education course is based on spare places, even for latecomers. Also, if one is going to understand the system, let us have the initials correct, it is PCAS not PECAS.

The entry system to polytechnics over the years has developed into an art. Some admissions tutors carry out interviews for the department; some departments admit without interviews. Whichever system was used in the past the tutor responsible developed a "feel" for the recruitment which on the day of enrolment left the number of students just about on target; a skill to be admired.

The introduction of PCAS brought with it a subtle change. In the past potential student had paid for UCCA entry and filled all five slots on the form. Wise applicants covered the A-level low pass situation with one or at most two polytechnic applications; some didn't bother at all. With PCAS, if you have to pay, then "fill up the form, for all four places", was a popular approach. Thus polytechnics realised that they were facing a pick-a-back system, PCAS on UCCA. No one had played this game before and so very careful watch had to be kept as to how one could develop a skill under quite new conditions and in one year hit the target figure.

All the old skills of estimating wastage were revised and rethought in an effort to judge the right way to step, indeed, it has been a minefield, but only fools thought it would be otherwise. The teachers' dispute hasn't come into the reckoning in my view. Decisions have to be taken on the potential at interview and/or in references, a long and arduous task. It has meant much midnight oil for the admissions

and tutors. The introduction of a new "computerised" system in concert with another of similar style on a national basis was going to be a difficult task from day one. PCAS has been slow and inefficient in some areas but this was to be expected by anyone who thought about it for a moment or two. The clearing system has been hard work. The judgment surely is whether the system is basically good and, will it settle down? Yes, is the answer. It is good news and will be better when it settles down. However, let us keep the "experts" away from changes for changes sake. A mistake PCAS has made is to "wash up" on the effects before the enrolments are completed.

The monitoring process for entry under PCAS should have been continuous since first applications arrived in September 1985. That has meant monitoring all the time, particularly during the summer vacation where all the fine-tuning has been done. The frequent discussions on the entry state will be a deal easier for the 1987 entries. We will know the tune and the words a little better by that time.

I wonder how many polytechnics are collecting and sifting data on this year's entries. A careful study of the system, with results achieved, will bear fruit. However, there will be those who throw away the files until crisis time next year. How many polytechnics have really understood the clearing system and used the sluice gate to open and close to good effect? My advice is to grip PCAS, refine one's own style of approach and settle into what could be a very efficient system producing better-than-expected results for students. Let us wait and examine the A-level score of 1986-87 intakes rather than agonise over a drop in entry requirements. As for how many will turn up on the day, no one has ever known that as an exact figure; that would be harnessing human nature—an impossible task.

P E Goodman
Portsmouth

Consulting the experts
From Francis Colella
HAVING been part of the design co-ordination team who helped to create the National Garden Festival, I felt I had to put some sort of reply to Robert Holden's feature (September 19).

Holden's comments are typical of many landscape architects "on the outside". As the festival draws to an end it has, no doubt, become the fashion for many of my fellow professionals to become "garden festival analysts". I hope, however, that they take care to establish the facts and perhaps were even keen enough to attend the recent Landscape Institute national conference, where many of the myths and untruths were dispelled by a whole range of relevant speakers. I am sure Holden would have written differently with that background knowledge.

Ultimately we have to accept that it does not matter what landscape architects write or say, because they have to work as a team with other parties who "call the tune" and "pay the piper". In the final analysis, it is the public who matter, and at Stoke-on-Trent there has been a satisfaction rate of 95 per cent, 1,500 new jobs created and the city warming to the festival, wars and all.

Holden's comments are minor, superficial and personal. There are no glaring omissions

or defects on the national garden festival site, design-wise. The product is good, considering the time scale, the budgets, and the weather. Many of his comments are a result, perhaps, of a lack of understanding about the site (the lakes are some 10m above canal level, hardly the best place for a marina), the Potteries area, the reclamation of the site (topsoil substitutes were used, very successfully), or the client.

The festival is commercial and has already attracted £6 million in sponsorship, as a result of not having international restrictions placed upon it. Commercial pressures were strong and often directly opposed good and tasteful designs, leading to many "confrontations", all resolved in the interests of the festival.

There are good answers to all of Holden's questions, answers that any one of us would have been happy to give, if asked. Perhaps future critics would care to delve a little more deeply and give courtesy to those who toiled long and hard, in circumstances known only by those who were there.

Francis Colella
Newcastle-under-Lyme
Staffordshire

Fear of approval

From Bob Hewitt, president, Institute of Clerks of Works
I READ with interest comments by John Newlove, (September 12) regarding JCT 80—Clause 12 and the clerk of works.

As president and chairman of a working party that is reviewing the role of the clerk of works, I am aware of many actions that take place not in accordance with the present forms of contract.

As a practising clerk of works, I cannot understand, if those who work in the industry are providing works to specification and good practice, what it is they have to fear from an approval process that could save time and money in the building industry.

Bob Hewitt
London W5

Scandalous adverts

From J F Lord
I ENCLOSE copies of 33 advertisements placed in your paper by your RIBA appointments bureau.

There have been endless debates on how many architects are needed and how many departments of architecture must close, both in polytechnics and universities. Why does the RIBA publish these advertisements? For if they mean what they say, the lack of powerful RIBA support to its educational system is scandalous.

J F Lord
Nottingham

Long-lost winners

From David Pressley, public relations manager, Crown Pains
LAST year we completed our 40th annual conference for students of architecture and interior design. Before 1975 these were known as Walpurnus Prize conferences, since when they have developed as the Crown Prize to offer students a travel scholarship worth £2,000.

While planning this year's conference and the regional colour lectures and exhibitions, it was suggested that we endeavour to trace former Walpurnus and Crown Prize winners with the intention of possibly organ-

ising several reunion dinners, the regions. We shall be delighted to be from any former recipients these prizes. A business card with the year of conference attendance will be sufficient this time.

South Africa boycott

From Jennifer Jones, London
I WAS delighted to read news of the new organisation, UK Architects Against Apartheid, and that one of its suggestions is that we architects avoid using South African products.

I suggest that a list of products be published in which those architects who wish to avoid using South African products know which ones to specify.

Jennifer Jones
London N2

RIBA spurns students

From B Spencer, chairman, School of Architecture Association
I NOTE your report (September 19) that the Cudat visit to students of the school of architecture. Throughout the affair, the students have been approached by the RIBA.

Just as the RIBA had assumed that the Drypool community Hull would invite Cudat, so RIBA have assumed that students would do their work for them. Cudat may indeed find it difficult to persuade any of the school to co-operate with them in this exercise.

B Spencer
Hull

Underground solution

From Peter Southgate
ARTHUR Quarmby (October 3) is absolutely right. It is becoming increasingly obvious that the only way to deal with great space gobblers of the 20th century—shopping centres, robot factories, educational leisure facilities, warehouse power storage and generators (to mention but a few)—is to put them underground. The surface of the Earth can be preserved for the amenity and enjoyment of future generations.

Undergrounding has enormous practical advantages. It is well—virtually nil or at best very low running costs, security, and not least, the great benefit to an already much-overburdened profession of providing a service that is very well protected against those natural enemies—buildings, thermal movements, frost damage and solar radiation.

Quarmby is right to consider David Higdon (September 19) because far from destroying Essex green belt, an easily sheltered shopping city would benefit if by allowing a beautiful adjacent Epping Forest to be extended right over it. In fact, the development could be the classic prototype of the cater for the late 20th century on an overcrowded island which can ill afford to lose any more land to the traditional solution of submerging the surface of the Earth under an ocean of green. Peter Southgate
Dolwyddelan
Gwynedd

All the fascism of the fair

From H I Meyer
SPOILED for choice, I did not know whether to rejoice with Henry Law and his reasoned argument for the single tax, or react violently to Geoffrey Broadbent's apology pro classica sua (September 26).

But the thought occurred to me to turn to the classic encounter between Daniel H Burnham and Frank Lloyd Wright back there in Chicago almost 92 years ago, when Uncle Dan took to the mountain and showed him all the glories of the world, saying: "Beautiful... all beautiful! I can see all America constructed along the lines of the fair, in noble dignified classic style. The great men of the day all feel that way about it—all of them."

Wright could have had it all, every bit of it. John Root, Burnham's designing partner, had just died. Burnham needed a talented and energetic designer to "make no little plans". But as is history, Burnham was turned down.

But as Wright knew and spent a lifetime demonstrating, to spurn Classical architecture does not mean to embrace sterile dogmatic "modern" styles. Fascism is not the fun, but the funeral, of the fair, and fascism is used to using Classicism whether it is the Beaux Art version of the Chicago World's Fair or the sub-topian stripped down arches and endless vistas of Mussolini's Terza Roma and the multi-national modulator of Le Corbusier, or the rigid soullessness of a Miesian stump and the post-modern posturings of Venturi, Krier and Stirling.

The architecture of Frank Lloyd Wright, Usonian architecture, Broadacre City architecture, organic architecture, is the third way, the alternative style, the true path of design. Abe Hayem and Broadbent have set up on two sides politically, establishment and anti-establishment, Right versus Left, but architecture is not all that. Architecture is about giving a form to the local habitation of society. If that society is unjust its architecture must be Classical, whether stripped-down Corb, functional jolly-Rogers, or quivering Terry. Only when the society changes to acknowledge the fundamental laws of an organic political economy will organic architecture, the American dream, and true beauty be built.

Until that time, when democracy triumphs and rids itself of the rotten economic system which is sapping its freedoms, all our architecture will remain Classical and fascist. Broadbent is right not to castigate German because it was the language of Hitler. Fascism was not Hitler's achievement alone. Fascism grows out of a rotten democracy, and the rottenness of that democracy is the natural consequence of economic conditions.

Conditions which prevail wherever there is private appropriation of land rental values. Every country is potentially a fascist country. Germany and Italy were but the Jungian archetype—the archetypes for a development which no country can escape except by the establishment of the equal right to all to the occupation and use of the land. The private appropriation of the rent of land is the deadly enemy of mankind. If we want a truly organic architecture we must, as in all building, first clear the land. Until then the battle of the styles will rage

along with the struggle for life, which should instead be the pursuit of happiness.
H I Meyer
London SW6

Monetary madness

From Eric De Maré
HENRY Law is wrong (September 26). If scientific price adjustments were made by paying retailers with new state credits so that goods could be sold below cost prices, the purchasing power of the public would be increased, prices would fall and inflation would be prevented.

"Coupons for soap powder" maybe, and why not? Money is coupons—or should be. It should not be regarded, as it is now, as being in itself a commodity—like soap. It is an abstraction and, when not abused, one of the most useful inventions of humanity.

But now it is being abused, for humanity is being kept short of purchasing power by the debt system (and by the ethic of toil on which it is based). How then can the taxing of land help the economy? How can any taxes help? Of course, governments need revenue to pay for social services (including those beastly and expensive weapons which, for one, don't want), but they don't have to raise that revenue in taxes.

With a few taps on a typewriter they could create sufficient money coupons out of nothing, to use as revenue which would be based on the plethora of physical realities. What is physically possible must be financially possible, and we possess a huge unearned increment of physical realities on which to draw and which is not yet represented by monetary symbols.

Money isn't wealth and industry doesn't create it. If banks can create credits out of nothing, so can governments—and without charging themselves (or us) huge interest and without piling up false and astronomical debts. (The first charge in every budget is payment of interest on the national debt, most of which has no right to exist; the fact is never mentioned by the media. In 1984 the interest was nearly £12,000 million, and it is rising rapidly. About a third of all local rates we pay goes to interest on false indebtedness, but that is never mentioned either.)

The situation is complicated. I've written a comprehensive book about it which, though obviously he did not read it, was revised by your critic. You can't print it all on your Letters page but I must add that history and religion have helped to cause our monetary madness, not least the old biblical precept of rewards and punishments. So the purpose of a social economy is not regarded in general as a simple matter of producing and distributing wealth for the benefit of the individual but as a means of expiation for unknown, original sins. Are we all guilty by guilt? Puritanism has much to answer for—not least our ghastly "urbanoid mish-mash", where, to quote G M Hopkins, poet: "Generations have trod, have trod have trod; And all is seared with trade, bleared, smeared with toil."

Eric De Maré
Cirencester
Glos

Bathtime creations

From David Maygar
IT seems a pity that so much can be written about architecture and so little of it have any meaning. The latest example which comes to mind is E M Farrelly's article in August's *Architectural Review* titled "The new spirit".

The piece represents the nadir of contemporary architectural thought and criticism. Farrelly has made little or no attempt to be truly analytical and frankly tells us nothing about architecture today in what might be called real terms. What we are sold is the latest reactionary nonsense thought up in the bath.

It would surely have been more informative if Farrelly had discussed the current architectural situation in the context of ideological developments and looked at hard material facts—the social, political and economic trends which have affected the profession and the construction industry. Instead her article proceeds on the basis of the

idealist notion that the history of architecture is about changing spirits—spirits of the age which are manifest in the buildings of a particular time. Architecture becomes a self-determining and no worldly things can effect its change. It may be fun and interesting to discuss architecture in terms of a "zeitgeist", but it represents a critical tread-water.

But above all, what was most disturbing about Farrelly's editorial was the political veneer applied to her writing. I say "veneer" because the politics became a trendy adjunct to what she wrote rather than bearing any relationship to her discussion about architecture. Essentially we were left with a description of buildings in visual terms—form separated from social content.

This is surely what we all hope to avoid—a too great a preoccupation with what a building looks like.

Post-modernism as an "ism" may certainly have died, but as an ideology it lives on and it will live on until we have radical social change. Call it the new spirit, but the only "new" thing about it is the name. The label is

as superficial as the architecture and its apologists.
David Maygar
London NW6

Options outstanding

From Alan Wood, housing development committee, Camden council
I WAS astounded to read in your magazine that the council "has agreed to appoint outside consultants to determine the future of its Hillview Estate" and that the option of demolition "has now been dropped".

No such decisions have been made. The current options are redevelopment and rehabilitation. We will be seeking professional advice to determine whether or not there is a realistic option which combines the two. When we have this information an independent agency to carry out a consultation exercise. The final decision will then be taken by the housing development committee.

Alan Wood
London NW1

Acting on damage

From K Liddemore, litigation manager, City of Bradford Metropolitan Council
I WAS interested to read the article by Neil Jones (September 5). It was, however, perhaps unfortunate that the article was published on this date in view of the fact that the Latent Damage Act 1986 was established shortly thereafter. This act does provide for a "longstop" as discussed by Jones. The Act provides, however, that no action shall be brought after the expiration of 15 years from the date on which there occurred any act or omission which is alleged to constitute negligence and to which the damages are claimed, is alleged to be attributable. While the decision which was the subject of Jones' article appeared wrongly to extend the time upon which a breach on duty may be committed, the Act appears to remedy the situation nicely.

K Liddemore
Bradford

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Stirring up the liability question

IF a building owner sues his architect for negligence following the construction of a defectively designed building, when does time begin to run for the purposes of the Limitation Acts?

The rule is easy enough to state — namely the writ must be issued within six years (three for personal injury) from the date when the cause of action accrued. However the difficulty is deciding upon when the cause of action accrues. In negligence actions it is necessary to establish three elements:

- a duty of care owed to the plaintiff;
- a breach of that duty by the defendant;
- damage caused to the plaintiff by reason of that breach of duty by the defendant.

While it is this last issue of damage which causes so much difficulty, in that until damage has been suffered the cause of action does not accrue, this can lead us back into a consideration of the first element referred to above. In other words, in respect of what type of damage is the duty of care owed to any particular plaintiff? It is necessary to answer this question before going on to determine when damage was suffered. If economic or financial loss alone is sufficient, then clearly time begins to run from when this economic loss is first suffered. But if, as is often the case, it is necessary to show either physical damage to property or personal injury, then it is necessary to await the occurrence of such physical damage etc before a cause of action accrues and time begins to run.

In relation to professional negligence actions, confusion abounds. For instance, it is quite clear that where the negligence of lawyers, accountants or investment brokers is concerned, the only loss likely to result from their negligence is purely economic or financial. They are unlikely to cause physical damage to property. Therefore the six years begins to run against them at the time when such economic or financial loss is suffered irrespective of whether or not it is discovered, or discoverable, then or later.

Responsibility

What then is the position of an architect or consulting engineer in relation to design work? Assume they are responsible to their clients under the law of negligence for purely economic loss. Time is then likely to run, at the latest, from when the building constructed on the basis of a defective design is completed and handed over — even though the defective design has not yet resulted in deterioration or damage to the building itself. The building owner has taken over a defective building and has therefore suffered economic loss in the sense of its devaluation, or the impending cost of correcting the defect even though he may be unaware of it.

On the other hand, if the duty of the architect or consulting engineer is limited to not causing physical damage to the property of their clients, then time will not begin to run simply because the building has been defectively designed. It will only begin to

run when physical damage occurs to the building, whether discovered at the time it occurs or later. If this is the case then the six years may not begin to run for some considerable time after the building is completed, ie when as a result of the defects, physical damage occurs.

In the latest Court of Appeal case on this matter, we therefore find the somewhat odd situation of leading counsel for the defendant architects attempting to persuade the Court of Appeal that the architects owed a duty of care to the building owner not to cause economic loss. This was in order to show that in having negligently caused such loss, time began to run from the date that the building was completed. Thus the building owner's claim would be statute-barred six years from that date, rather than six years from the date when physical damage had occurred as a result of the defective design. As we shall see, this led to some judicial observations which do little to ease the confusion in this area of the law.

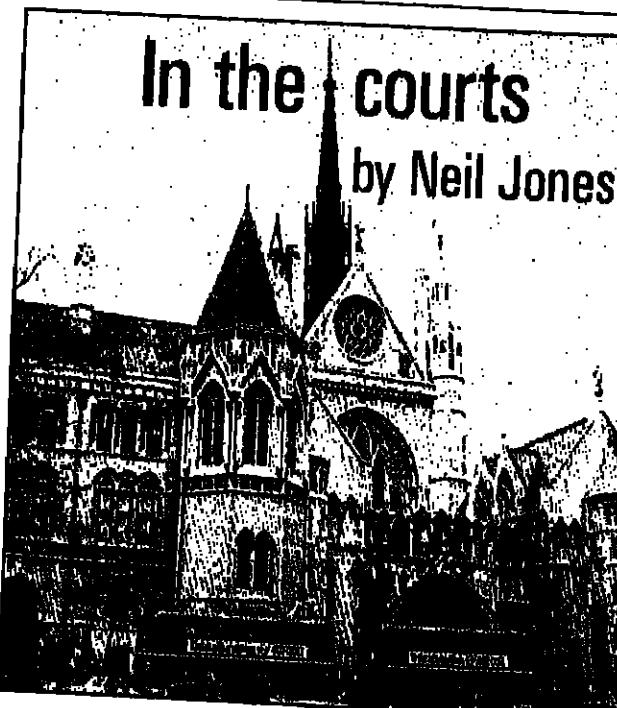
London Congregational Union Incorporated v Harris & Harris (Court of Appeal, July 30, 1986) This case, at first instance, came before Judge John Newey QC sitting as Official Referee in 1984. It involved the design by the defendant architects of a church and church hall. In order to accommodate it upon the smallest possible portion of land, the hall was built under the church at about six feet below ground level and the church on top was set at about six feet above ground level. Three small areas at the lower level on the north side of the hall and a larger area at the lower level on its south side were left open and paved. The church was to be reached by going up a short flight of steps and the hall by going down a flight of steps.

The design required a scheme to drain the rain water from the open areas around the hall at the lower level and the defendants devised a system of gulleys connected by pipes to a sewer. The depths of the sewer below the lowest point of the areas was about three foot six inches. This method of disposing the rain water contained no safeguard against the sewer surcharging. As the hall was set at a lower level than surrounding manholes, if the sewer was going to surcharge, the water would escape by the easiest route. As the judge said:

"In effect the defendants had created a large tank in which the church hall was situated which could act as a relief area, a sort of balancing tank for the sewer in the event of it surcharging."

The building was completed in January 1970. In August 1971, after heavy rain, the sewer in the street filled with water and surcharged. The water came

In the courts by Neil Jones



the plaintiffs consulted solicitors and a writ was issued on February 18, 1977, ie within six years of the first flood in August 1971.

The judge at first instance found that the defendants had been negligent in relation to the scheme for drainage. A further allegation of negligence was that there was no damp proof course provided between the wall of the hall and the stairs leading down to the lower level which were set into walls of the building. Moisture could therefore penetrate into the lower level. It eventually reached and damaged the plaster on the inner surface and the decorative finishes to the plaster.

The judge had heard expert evidence to the effect that it would have taken one or two years for the plaster to have been damaged following completion of the building. The writ had been issued on February 18 1977, and had to be issued within six years from the date when the cause of action accrued. So it became necessary to determine in relation to both the drainage system and the absence of a damp proof course, precisely when the cause of action

accrued. If it accrued before February 18, 1971 then the claims were statute-barred; if after they were not.

At first instance, the judge had held in relation to the drainage scheme that the cause of action accrued when the first flooding took place in August 1971.

No damage

He held that there had been no damage suffered until then and damage was an essential ingredient in the tort of negligence. In relation to the absence of a damp proof course, the judge said he could not be sure from the expert evidence if the first physical damage to the property had occurred shortly before or shortly after February 1971. He thus held that as a limitation defence has to be raised by a defendant, it was for the defendant to prove that damage had occurred sometime before six years prior to the issue of the writ. He said that as the evidence was unclear, the defendants had failed to demonstrate this. In neither case was the claim statute-barred.

Both his findings as to when

damage had been suffered and his finding that the cause of action accrued were in effect their own negligence in not taking avoiding action: ● if the state of the drains was such that no physical damage at the time they were designed or built, nevertheless it caused, at the date of construction, economic damage to the plaintiffs in the form of putting the drains in submissions, namely, ● that the cause of action accrued when the damage was suffered and that this was the completion in January 1971; ● the state of the drains was such that as soon as they were completed, the claim should be statute-barred; ● the decision of the House of Lords in *Pirelli v Oscar Faber & Partners* (1983) did not prevent the court from accepting these submissions. If on the other hand the *Pirelli* case did occur they would be accepting these submissions, then this case was within the negligence. If they were not, then this case was within the negligence. If they were not, then this case was within the negligence. If they were not, then this case was within the negligence.

from the start" time should run from the date of completion even before physical damage took place.

These arguments were not accepted by the majority of the court, which held that the court was bound by the *Pirelli* decision. As Lord Justice Gibson said:

Negligence

"I can see no relevant difference between the relationship of the defendant consulting engineers in *Pirelli* to their clients and the relation of the defendant architects in this case to their clients, the United Reformed Church... In both cases there was negligent design which was latent in the sense that for a time the building and the various parts of it functioned as required to function, and which was later the cause of physical damage to the building."

In dealing with the question of whether the cause of action began from the time of actual physical damage to the building or economic damage to the plaintiffs, in the sense that they had a defective drainage system

which would require remedial works, the defendants' submission on this issue was also rejected. The defendants had said that in line with the House of Lords decision in *Junior Books v The Velich Ltd* (1983) just as the defective floor in that case (which had been laid by the nominated sub-contractor) gave rise to actionable negligence in favour of the building owner, so the installation of the defectively designed drainage system also gave such a right.

The court, however, said that in the *Junior Books* case it was the defects resulting from the negligent work which was seen as being the cause of the need to spend money on putting right physical defects in the floor: it was not the mere existence of the faulty elements in design or construction which would lead to the coming into existence of the physical defects at some time in the future.

In the *Junior Books* case the building owner who had brought the action had actually suffered physical damage to his property, ie the floor. Prior to the flooding, the plaintiffs in this case had not suffered any damage to the

church or to the church hall.

Comment With respect to this particular distinction seems very fine and perhaps an added gloss on previous analyses of the *Junior Books* decision, which has generally been accepted as establishing unlimited situations a right to sue for negligently caused economic loss without the need to show physical damage. Accordingly, where it is the article supplied itself which is damaged, eg the floor in the *Junior Books* case, which does not cause consequential physical damage to other parts of the building, then it has generally been accepted that this is a claim for economic loss not physical damage to property.

However, it now appears on the analysis of this case by Gibson LJ that *Junior Books* may perhaps be regarded as a case on physical damage. If this is so then we have what appears to be yet a further sub-division, almost certainly unwarranted, and there are now, the following three possibilities.

Take for example a negligently designed or negligently laid floor: ● the floor has been designed

or laid in a faulty fashion but there has been no deterioration at all, although it is bound at some point to break up. Prior to breaking up, this is purely economic loss, ie the loss in value or the cost to cure the fault; ● the floor has started to break up but has not caused any damage to any other part of the building. It is simply a defective product in itself. This may have been thought from the *Junior Books* decision to have been purely economic loss but would now appear arguably to be physical damage; ● the floor breaks up and as a consequence causes damage to other parts of the building. Here there is clearly physical damage.

Accordingly, in the *London Congregational* case the majority of the court held that there was no actionable negligence until flooding took place and physical damage occurred.

The court accepted that this could lead to situations where a defect in the works was discovered but, because it had not resulted in physical damage, it could not be the subject of an action in negligence, though, if applicable, it could be the subject of an action for breach of contract. Gibson LJ said:

"For my part, I am not impressed with the prophecy of unjust denial of relief to plaintiffs who have discovered a negligent defect but are not entitled to relief in contract and are faced by the prospect of physical damage which has not yet been caused but is likely to result from the defect."

Concept

"Firstly, of course, the concept of negligence is not intended to afford to owners of buildings rights equivalent to contractual rights. Justice does not require that a defendant pay damages in tort for a defect in design which in Lord Fraser's words 'may never lead to any damage at all to the building'."

"Secondly, if a negligent defect is discovered and the building owner can prove an immediate duty of care in protection of himself or others or of the building, to carry out repairs to remove the defect so as to avoid physical damage which is shown to be impending, ie likely to occur in the immediate future, it seems to me that the law would accept such a situation as proof of damage."

In relation to the "doomed from the start" argument, the court rejected this as clearly the

building itself was not doomed even if the drainage system was. Finally, in relation to the absence of damp proofing, the court did overturn the first instance decision. It decided that where it is not clear if the damage first occurred before or after a period beginning six years prior to the issue of the writ, then it is for the plaintiff to prove that it occurred only within the period and not for the defendant to prove initially that it must have occurred before the commencement of the six year period.

The judge at first instance had misdirected himself as to which party should show exactly when damage first occurred.

Comment Note that this was a majority decision of two to one. Sir Denys Buckley dissented, on the basis that, in his view, the suffering of economic damage, ie being saddled with a building with defective drainage which would require remedying, was sufficient to found a cause of action. Time therefore began to run in his view from the date when the building was handed over.

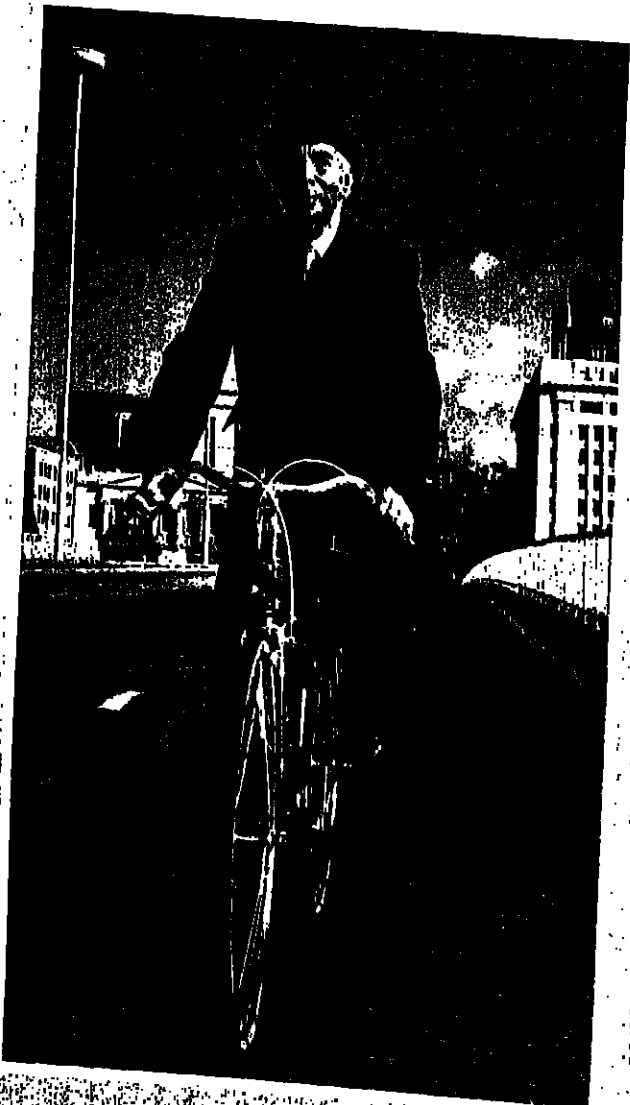
The majority view means that while solicitors, accountants, investment brokers and the like owe their clients a duty of care not to cause purely economic or financial loss, architects and consulting engineers do not owe this duty to their clients, but only a duty of care to avoid causing physical damage or personal injury.

It follows, therefore, that if, say, seven years after a building has been completed (and a claim for breach of contract has become statute-barred six years from the date of breach irrespective of when damage was caused) the owner finds that due to negligent design the running costs for the building are far in excess of what they reasonably ought to be, there can be no action against the designer.

While often this will be good news for the designer, as this case shows, in situations where physical damage does result from the negligence at a much later date, the period for which the designer is at risk will be greatly extended.

Conclusion It is now probably beyond even the infinite capacity of reason and logic to bring some semblance of order to the present state of confusion on this particular topic.

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"THAT'S the Congo that's Nottingham... that's Havana... that's Berkhamstead..." Paul Hogarth was showing me some of the illustrations from his new book. In case you can't imagine what theme could possibly link these locations, it's a bookful of pictures of Graham Greene settings, called *Graham Greene country*, by Paul Hogarth and Graham Greene (Pavilion Books, £17.95).

Hogarth is nearly 69. Bearded, and quietly spoken, he looks upon himself as an artist-reporter, and admires those who in Victorian times sent back visual dispatches from the furthest-flung corners of the empire to be published in the *Illustrated London News*, in the process helping to develop the strong English tradition of illustration.

Greene, equally, could merit the title of a novelist-reporter. He spent some time working as a journalist, and even now claims not to create from his imagination — only to describe. The fact that all his settings are based on

real locations meant Hogarth was able to illustrate the novels from life.

Hogarth has had a long association with Greene, having for more than 20 years provided the illustrations on the cover of Greene's Penguin editions. But until this project the two had never met. On their first meeting, Hogarth produced a selection of the Latin-American and Caribbean work he had produced for the book. Greene, it seems, was impressed. He became fascinated with the project, enthusiastically contributing the essential information about the identity and whereabouts of locations. Southcra, for instance, where the final

scene of *The confidential agent* takes place, is in reality Clacton-on-Sea.

Hogarth has also had a long association with architecture. For architects, perhaps his most famous book is *Drawing architecture*. But Brian Hutton once described him, aptly enough, as an artist of architectural features, not details. The particular aspects of architecture that seem to interest him are those that would catch the eye of an author, not an architect. For this reason, he is not, like Ben Johnson, an architect's artist.

"I see architecture as an image which evokes a sentiment — as a symbol," he says. "That doesn't mean to say that I don't appreciate

the finer points of architecture — I do. But I do use it as a background for some kind of social comment."

The buildings he likes to draw which are objects about which atmosphere has accumulated over a period of time. "I began on early travels to central and Eastern Europe," he explained, "where for the first time I saw the great cathedrals and palaces. I'm very sensitive to the backwash of history — and I'm very affected by architecture that reflects history."

Hogarth has in the past described himself as a "topographical and satirical illustrator" — two concepts that are not generally associated with

each other. What exactly does he mean?

"I'm interested in the social aspect of architecture," he says. "And I use buildings as symbols against which various things happen." Buildings inexorably record the traces of their builders and occupiers, and perhaps in this way topographical portraiture comes closest to social comment. A portrait of a person can only record one personality. A portrait of a place, because it is formed by an accumulation of personal and social events, has the potential to express the character of that society.

He referred to a series of watercolours describing the background to *The power and the glory*, pointing to a drawing of the gateway to a Mexican cemetery, which bore the legend "silencio". "This does feature in the novel. It's no longer classical, as it was described in the book. It was rebuilt: but it's equally forbidding."

Following his travels to Eastern Europe, in the mid-50s Hogarth held an exhibition at the Architectural Association, called "Buildings and People". His work at that time was closely bound up with the theme of the post-war reconstruction of Europe. The "people" in the title referred to those who were engaged in carrying this out.

Today, by contrast, Hogarth's focus has shifted from the activity of construction to the more passive process of decay. In one sense, a building surrounded with scaffolding could be said to be as sketchy and picturesque as a ruin. But there seems more to it than that. I asked him if he agreed that his inordinate interest in the decadent and the crumbling was equivalent to Greene's preoccupation with the whisky priest rather than the brisk, the lonely traitor rather than the national hero.

"Yes, the flawed," said Hogarth, laughing as if in confirmation, with that sudden wheezy heartiness. "I must say I felt completely at home with this kind of subject. I'm very fond of the seedy. It must have substance: it must have character."

"Greene and I are both travellers, with a background in journalism. I think that's the connection. We have the wanderlust, with a compulsion to see

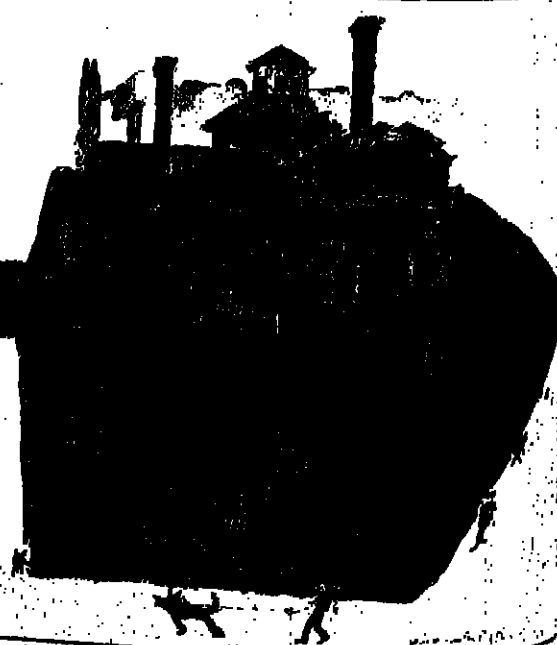
places — to see all places not very good at all. England. Foreign countries offer me a wider range of matter, and I visualise the buildings I would draw in Cuba, Sicily and Vienna."

The pictures in *Greene country* are of where, in his own words, "I have happened and not happen. Those places I have happened towards, of what looked like a real shack in Sierra Leone, to of *The heart of the matter*. Scobie, melancholy and the book, it served as a symbol of his own decline, out-moded by another petty European quarter. Hogarth in a more positive light, it was a very satisfying building in its own right. — but also as a symbol of a colonial era which has disappeared."

This era offers rich past for the novelist — all extension, the illustration because of the clashes of it generated and the political frailty of many of the minor positions of power.

Hogarth's extensive had to be completed in the of a year. After visiting country in his itinerary returned to Britain to do work and change his way of work. "I remember I was being mobbed by locals while he was up work. I remember I was drawing a mosque, and I this group of black men clambering up a drain simply to ask me if they'd put in for a British Government scholarship." That he laugh breaks out again. "I were schoolboys from one of the schools that have been in English lines, with blazers caps. They knew what they asking for — one of them wanted to be a graphic designer."

Undoubtedly one of the people look at the painters in public is to see the artist's view of a scene their own. And perhaps same could be said of those who are likely to buy their Why do we like to look at



Wandsworth Prison, from *It's a battlefield*.

Tim Ostler talks to artist-reporter Paul Hogarth who travelled 50,000 miles to track down and paint settings of Graham Greene novels. The results have just been published.



Illustration from *Our man in Havana*.

illustrations if not to compare the illustrator's image with the one we have built up in our own mind?

Graham Greene country has been far and away Hogarth's biggest project so far. It involved visiting 50 cities in 20 countries across four continents — and overcoming innumerable practical problems in each location. "I could never have pulled it off at any time before," he said, "because it needed a tremendous amount of experience to

get the drawings done in the right way at the right time.

"It's an assignment that has called for a great deal of tact and diplomacy, as well as stamina — and the ability to get a drawing done under any circumstances. To an illustrator of Hogarth's experience, skills such as being able to paint a watercolour in the pouring rain are taken for granted. That's the journalist's background — a resource which I don't believe the average artist has. You've got to be deter-

mined to get your material. I'll go into someone's bedroom if it has the right view."

What proved more tricky was dealing with officialdom: "In Zaire they wouldn't give me permission to draw the Congo River — which I did anyway. I could have been arrested. And of course if they put you in jail, you have to prove your innocence — and it's a hell of a job. But luckily, in Zaire, most of my drawings were done in a leper colony."

Mosque, Freetown, from *The heart of the matter*.

The book Hogarth was illustrating at the time was *A burn out case*, Greene's story of a successful architect who loses his faith and retreats to work in a hospital in the then Belgian Congo. The story culminates in the design and construction of a new ward block. It is reputedly based on a true story, and Hogarth found the very building in question, designed in a sort of colonial art deco.

Did he ever draw a complete blank? "I nearly did in Corri-

entes, northern Argentina, which was the location for *The human factor*. Then I met, quite by accident, a British emigrant whose uncle was a fan of Greene's, and knew all the places that Greene had visited.

One surprise for Hogarth was the architectural quality of one place not normally considered particularly exotic. "Nottingham was just as interesting as Havana or Haiti," he said, going on to enthuse about Walter Fortherrigill, architect of many

buildings there — including offices where Greene worked as a journalist.

Except for a car trip round Spain with his son to illustrate *Monsieur Quixote*, every one of the 50,000 miles Hogarth travelled had to be covered on his own. "It was a lonely business," he confessed. "But Greene agrees: one has to travel alone, to savour every moment. You've just got to go all out, all the hours that you are there. It's hell while it lasts."

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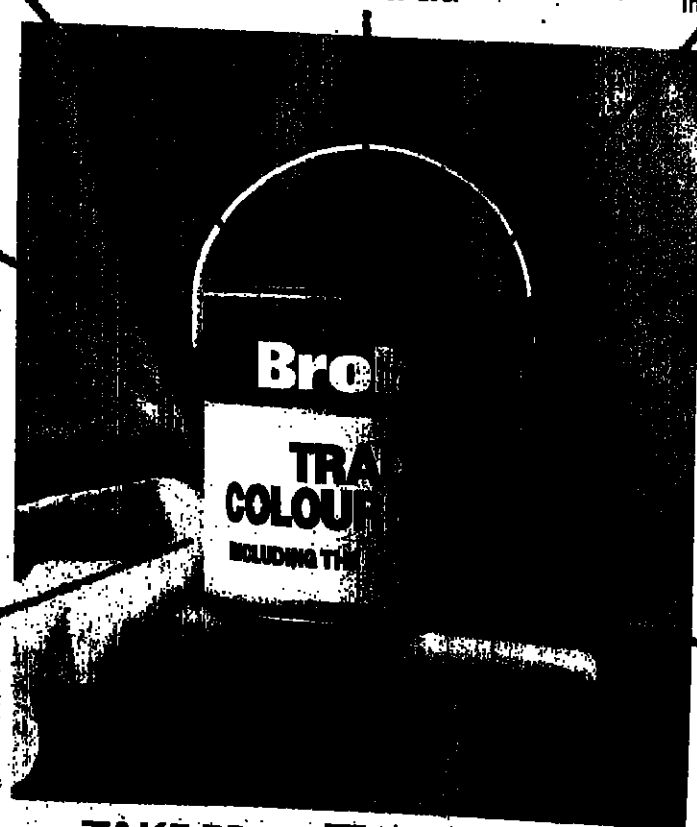
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ART OF THE STATE

Judi Loach examines the political will behind architectural projects in France and details the major schemes in progress throughout the country.

EVENTS preceding the recent elections in France confirmed that the socialist administration there has been using architecture for political ends.

First there was the exhibition of "Grands projets (major state projects)" staged in the Centre Pompidou from early February. Supposedly covering the principal architectural projects sponsored by the state during the 10 years leading up to the

bicentenary of the revolution (1879-89), it actually omitted any comment on the only such building erected before the socialist regime, the Centre Pompidou itself, the opening of which began that decade.

Instead, the host building was simply labelled "the first major international amenity in the capital since the turn of the century". The organisers (rightly) claim that the projects displayed are continuing the change in the "architectural and

urban physiognomy of Paris" which it began. The exhibition confined itself to 10 projects: the Orsay Museum; the Grand Louvre; the International Carrefour (literally "cross-roads") of Communication at Tête-Défense; the Arab World Institute; the Opéra Populaire at the Bastille; the National Museum of Science and Industry; the park and the Music City at La Villette; and the new Ministry of Finance.

This exhibition seemed to be designed expressly for the Parisian market — the voters who had already elected Chirac, as mayor — since it excluded any mention of the government's provincial projects. This was unfortunate, at least from an architectural point of view, because this latter category includes the most promising schemes — the School of Dance at Marseilles by Roland Simounet, highly acclaimed for the new Picasso Museum; the ludicrous transformation of two fairly nondescript factories into the Cartoon-Strip Museum at Angoulême by Roland Castro; and the exciting conversion and extension of the Motte-Bossut cotton mills at Roubaix by Alain Sarfati.

The exhibition, in this Parisian context, surprisingly neglected the scheme on the Montagne Ste Genevieve and the refurbishment of four major museums in the city (the Natural History Museum, the Ethnological Museum, the Palace of Discovery and the National Technical Museum), although these had been added to the official list of Grands projets before the exhibition was organised. This only reinforces suspicion of the essentially rhetorical intention behind presenting 10 projects from this decade.

Secondly, there was the dramatic performance on March 13 in which the president opened the first of the Grands projets to be completed, the new science museum — the "City of Sciences and Industry" — at La Villette. The museum was, however, nowhere near finished by this date and the celebration, attended by tens of thousands of invited guests, bore little resemblance to an opening. It was more of a festival to mark the simultaneously sighting of Halley's Comet and the satellite Gioio — which explains the timing of the event, 11pm to 2am!

Public reaction to such an overtly political use of architecture can be deduced from entries in the visitors' book at the Centre Pompidou exhibition. People seem to welcome this state, although perhaps because it is perceived in terms of cultural amenities rather than of architecture.

If any single project remains dubious in the eyes of the man in the street it is no longer I M Pei's Napoleonic courtyard of the Louvre, despite the strength of the initial protest against it (which, one now suspects, was led mainly by aesthetes), but the Opéra Populaire at the Bastille. Large number of people

representing a broad cross-section of society visited this exhibition. Furthermore, Chirac, as mayor with a fair percentage of Paris, has obvious reasons for bemoaning to sit through the development of almost hour-long cultural amenities in his own city, a fact which Mitterrand (a self-proclaimed regionalist) is prising off, however, in that the paperback development of the Grands projets, *Le Mitterrand* by François (an employee of the financed Institut d'Architecture), has hit the best-seller lists with the major chains of booksellers unable to keep a public demand for it.

Such public interest in political exploitation of architecture may seem strange in France, both derelict policies of Giscard d'Estaing notably his "Loi sur l'architecture" and "1,000 Jobs for Architecture", which seemed to bring architecture town planning into the arena.

Mitterrand built on foundations; the social programme of Grands projets Paris and, later in the are proof enough of this there has also been then on at Centre Pompidou exhibitions of many models. The fact that members of the public to criticise the Pompidou (primarily for its models) may well be due to familiarity with and through these exhibitions which have focused on scale models.

But what effect is that of government likely to be these Grands projets? answer — again perhaps what surprising to Britain that it will probably not drastic, even though the government is committed to severe cuts in public expenditure. True, one of its victims of such cuts is Carrefour International Communication, which longer to be used for the for which it was designed this might save the administration from the ransacking that such a tourous (some would define) project was the bring them; and in any building itself will be somewhat envisaged.

Otherwise the Grands have only been subject to relatively minor cuts, the impact of which will be restricted to deferring the completion dates. The had taken great care to that virtually all the projects were dropped after the time of the elections for the City of Music, is to be postponed, but its nature, geographical situation and the least feasible, political abandon.

The explanation for the government's continued high-level expenditure on projects in the cultural quite straightforward. Architecture and the arts have become major political arenas in France and it would be political

latest information ring Alain Chénal, 45-49-04-30. The new Ministry of Finance at Bercy.

Metro: Bercy, Quai de la Rapée, Quai de la Gare, Gare de Lyon. Some of the associated buildings (mainly housing stock to replace that lost in clearing the site for the ministry building itself) will be finished this summer; work has also begun on the main buildings, whose completion is not due before summer 1988. There is an explanatory exhibition at 16 quai de la Rapée, Bercy. Open Monday-Friday, 10am-7pm and Saturday, 9am-1pm. For latest details ring Brigitte Barcellin, 42-97-23-82.

The Opéra Populaire at the Bastille. Place de la Bastille/rue de Lyon, Metro: Bastille. Work is under way on site; the opera is due to open for the 1989-90 season. For further information ring Agnès Dépigny, 48-07-15-20.

La Villette. For the Museum of Science and Technology (including the Géo, the hemispherical cinema) the nearest Metro is Porte de La Villette, but for the Grande Halle the nearest metro is Porte de Pantin; the Zenith (the hall for pop concerts) lies midway between the two, in the middle of the park which envelops all the developments at La Villette.

Although the official opening of the museum took place in spring, some sections did not open until late summer; entrance to the building itself is free, but a charge is made for entry into certain (permanent) exhibitions within it. The Géo is proving particularly popular (don't be put off by the queues to the museum itself — one never has to wait more than 20 minutes to get in, and once inside there's plenty of space for everyone. As tickets for the hourly cinema shows can only be bought on the day, it is advisable to arrive several hours in advance to secure them (one can visit the museum and park while waiting) and to avoid weekends if at all possible. The museum is open from 2pm to 10pm (closed on Mondays). Some of the information officers in the entrance hall speak English, and can be identified by their special badges. It is possible to hire headphones (in the entrance hall and also on the first floor) for the English translation of the audio-visuals, and the commentary in the Planetarium.

Concerts are held from time to time in the Zenith (usually at weekends) and even in the Grande Halle (which is primarily intended for temporary exhibitions).

The first section of the park (10 hectares out of the total 35) is also open. The development of La Villette (and its history) is explained on information panels scattered throughout the park and in free brochures in the museum or from a temporary building by the Porte de Pantin entrance to the park; the latter also contains a large-scale model of Christian de Portzamparc's scheme for the

City of Music, to be built at this end of the park. (The opening was scheduled for late 1988, but will probably be delayed in the wake of cuts by the new government.)

Montagne Ste Genevieve (conference centre, principally for promoting the new technologies, and government offices, mainly relating to research in such technologies). Park, swimming pool, etc. for the local community, and fire station/housing for firemen). Block contained by

Montagne Ste Genevieve, rue des Ecoles, rue Monge, rue du Cardinal Lemoine, rue Clovis, rue Descartes. Metro: Cardinal Lemoine, Maubert-Mutualité. This scheme was completed some time ago. The gardens are open to the public during daylight hours.

Natural History Museum. Jardin des Plantes, Metro: Monge, Jussieu, Gare d'Austerlitz, Censier. The Zoological Gallery, which has been closed for the last

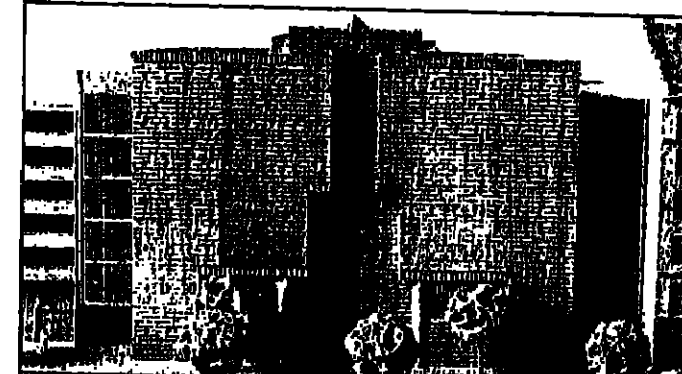
25 years, is to be converted into an Evolution Museum; opening is due in 1989.

Musée de l'Homme (anthropological and ethnological collections). Palais de Chaillot, Metro: Trocadero. The renovation programme here is primarily concerned with the presentation of the collections; the first stage is to be completed next year. Palais de la Découverte (didactic displays explaining basic sci-

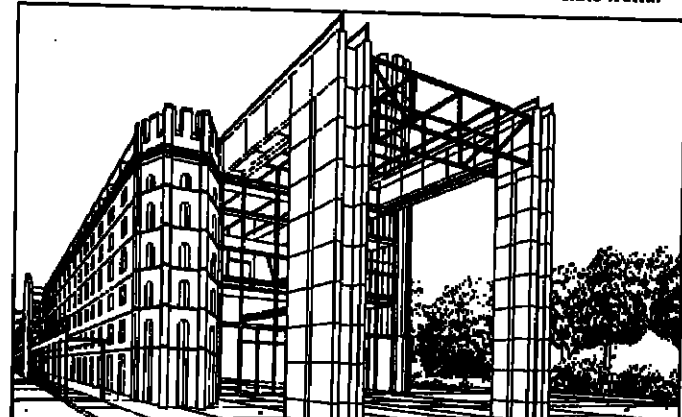
tific concepts). Ave Franklin D Roosevelt, Metro: Clemenceau. This project is a re-arrangement of collections within their present building.

Musée National des Techniques (a collection of tools and machines from the 17th century onwards). 270 rue St Martin, Metro: Réaumur-Sebastopol, Arts et Métiers. Again, this is a project of

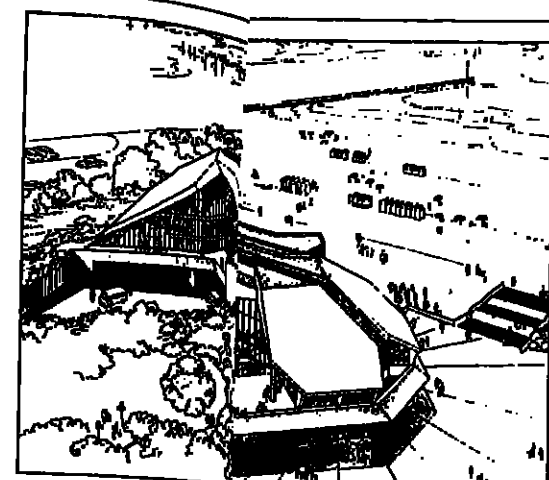
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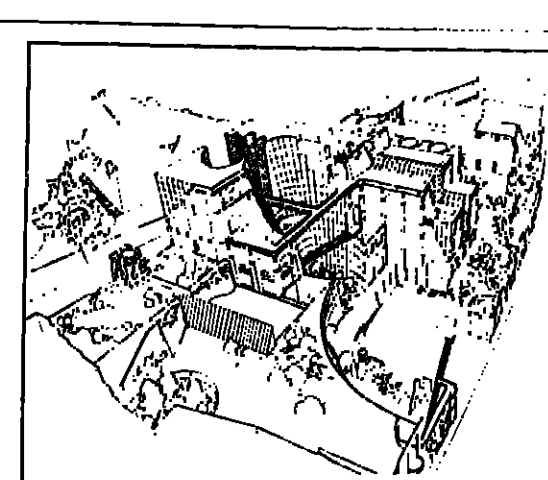
The Villurbanne Book, Image and Sound Centre. Architect: Mario Botta.



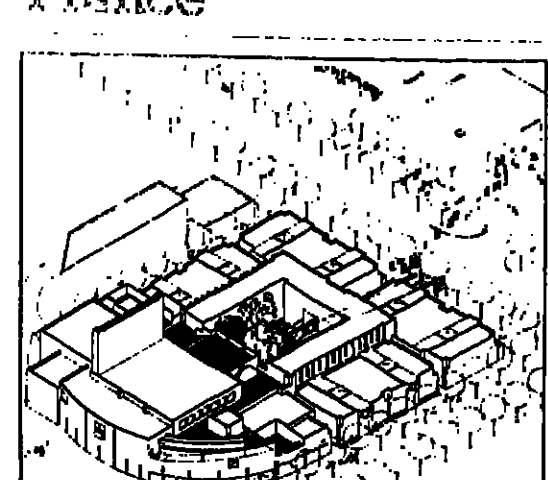
The archives of the working community in Roubaix by Alain Sarfati.



The National Marine Centre by J. Rougerie.



The National Comic Strip Centre. Roland Castro and Jean Remond.

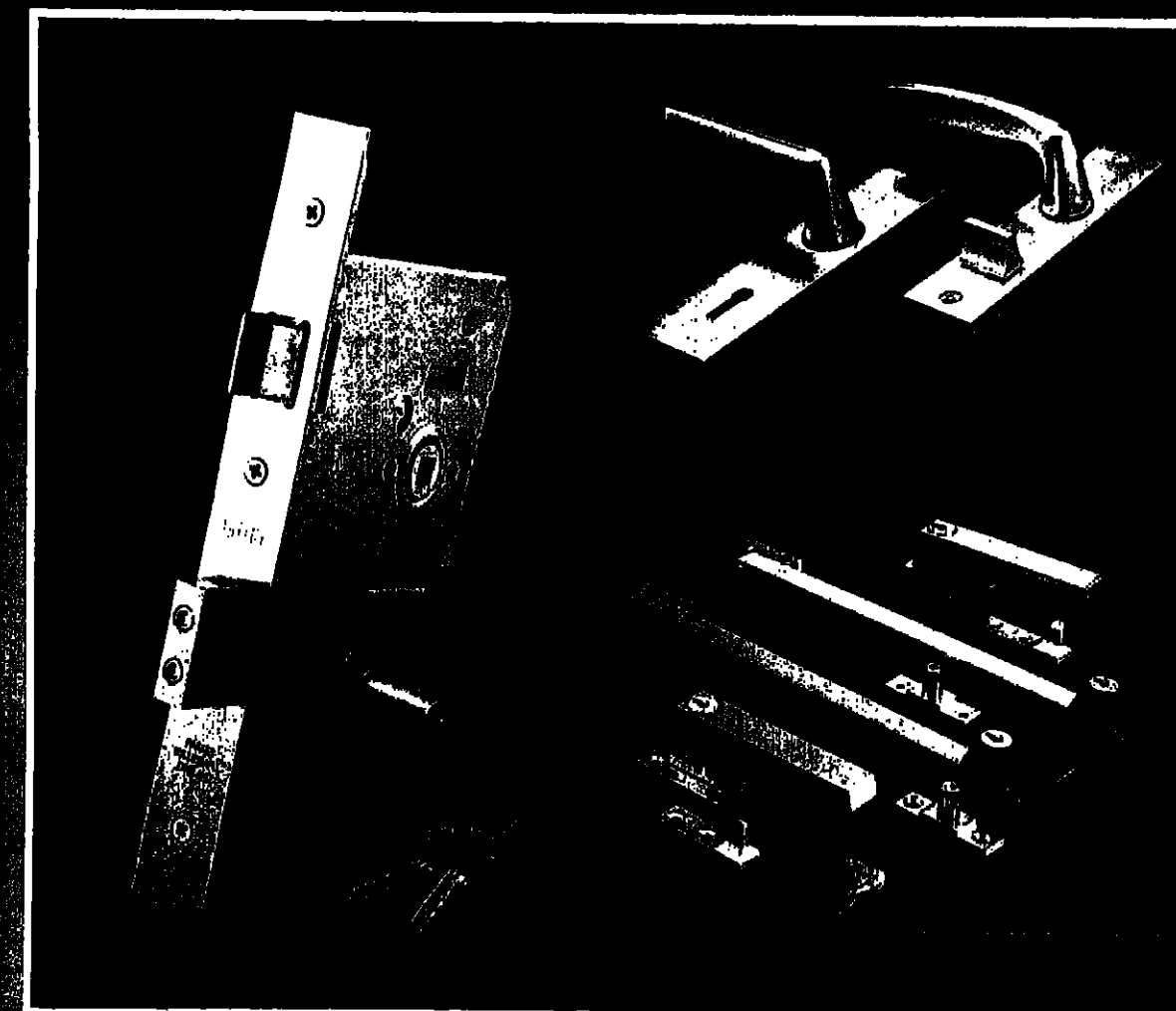


The Marseilles School of Dance. Architect: Roland Simounet.



The National School of Photography, Arles by Jean Massot.

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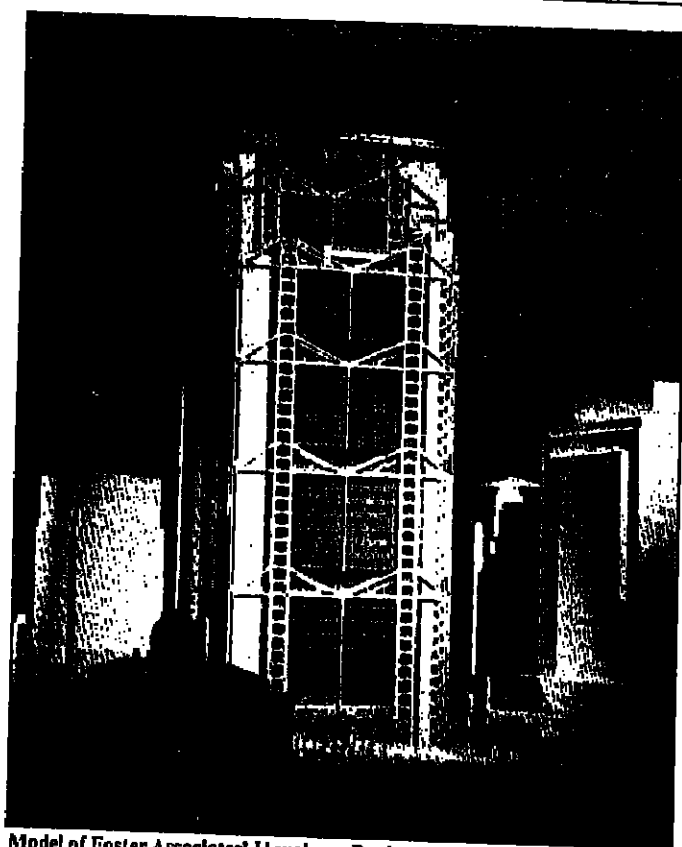
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IT is 15 years since Geoffrey Howe, then environment secretary, decided to set up a body to advise about development points. Dobson is the system.

It is a wide-ranging body, which includes the environment, land, housing, and so on, whose members (including the secretary of state) are in urgent need of a new system.

Sir John Gifford, a graduate of the University of Cambridge, is the new secretary of the fresh body, which is to be set up in the public domain on September 1st. The *Financial Times* has reported that the new body will be called the *Appointments and Public Council* and will be the first of its kind.

It is a body which will be set up to advise the government on the development of the country, and will be the first of its kind.



Model of Foster Associates' Hongkong Bank with city backdrop.

THE Royal Academy Show that cost £500,000, "New Architecture: Foster, Rogers, Stirling", is exhibited in the prime space at the top of the stairs with Stirling straight ahead, Rogers to the left and Foster to the right.

It was perhaps also significant on press day that Foster's exhibit was totally complete and in working order, Rogers' was incomplete but the photographic handouts handsome and plentiful, the Stirling/Wilford exhibits were having the lights tinkered with, and Quinlan Terry was in the background (an ex-Stirling assistant), disparaging the whole effort for the benefit of television cameras.

All the exhibitors are associates of the Royal Academy, but unlike other artists who are privileged to display their works, the brief asked simply for two projects from each architect, one built and one a project. This scenario gives a lack of balance, because it is difficult to obtain an overall impression of a designer's career from such a narrow spectrum. It would be like asking Elizabeth Frink to display one horse and one maquette: it is neither fair to the artist nor the public.

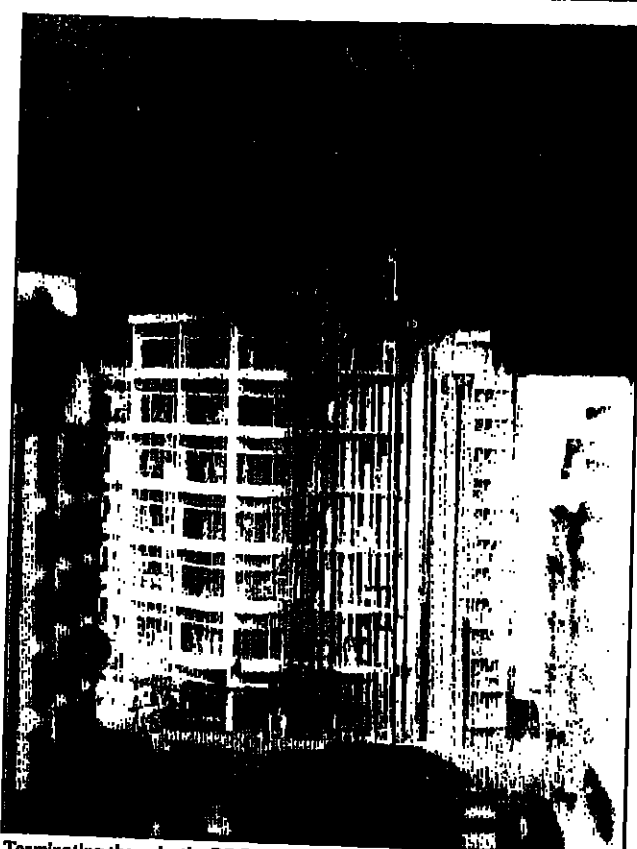
To make amends, the Royal Academy has issued a splendid educational pack for schools and there is also a well-produced book by Devan Suddie to coincide with the exhibition. In addition, there is the promise of lunchtime lectures on the participants, and evening events with contemporaries like Jeremy Dixon, Piers Gough and Peter Rice talking on New Architecture. Despite all this promotion, there seems to have been a history of problems with the

exhibition design in relation to the three primadonnas; the final arrangements in each area being the result of the trio going their own ways.

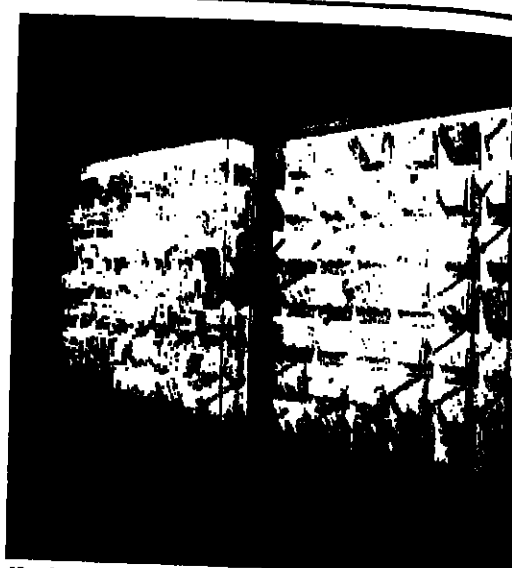
At that level, the highest accolade has to be given to Norman Foster, where the gallery spaces have been made to work to maximum effect. The first salon is dedicated to the Hongkong & Shanghai Bank with large-scale models and crisp drawings plus multiple presentation of slides and soundtrack, the theme setting the scene of Hong Kong as well as telling the story of one of the most ingenious buildings built in this decade. The concept of the building in the city is also demonstrated with ideas for a public space to connect the tower to the waterside.

The second salon is devoted to the unbuilt BBC headquarters in Langham Place and illustrates clearly the enormous range of talent available from the Foster team to explore design options for a demanding client. It also shows the flexibility that the best of modern design can contribute to society rather than the straitjacket of neo-Georgian favoured by other Royal Academicians.

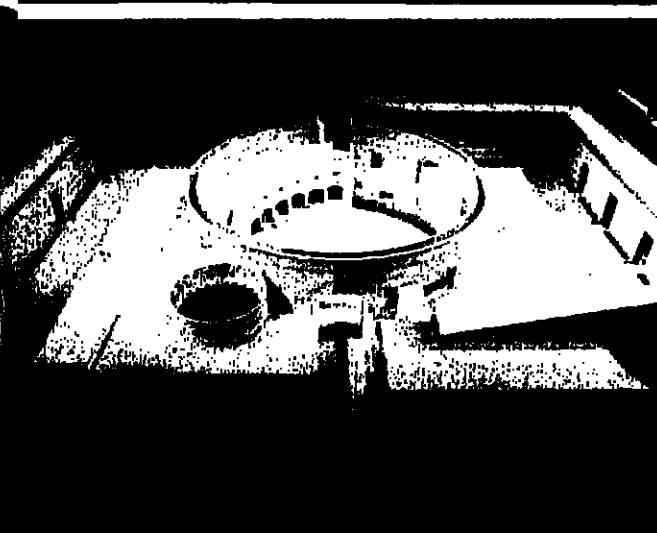
The largest gallery stands on the opposite and appropriately left-handed vista, and is occupied by the two Rogers exhibits, the main emphasis being on making a "City for People". The centrepiece is a shimmering lake of real water, poised dangerously at just above sitting level, which leads the eye to a reconstruction of Hungerford Bridge with railway and Embankment traffic jams swept away for a pedestrian and monorail link between the South Bank and Trafalgar Square, plus a collec-



Terminating the axis; the BBC project viewed from Portland Place



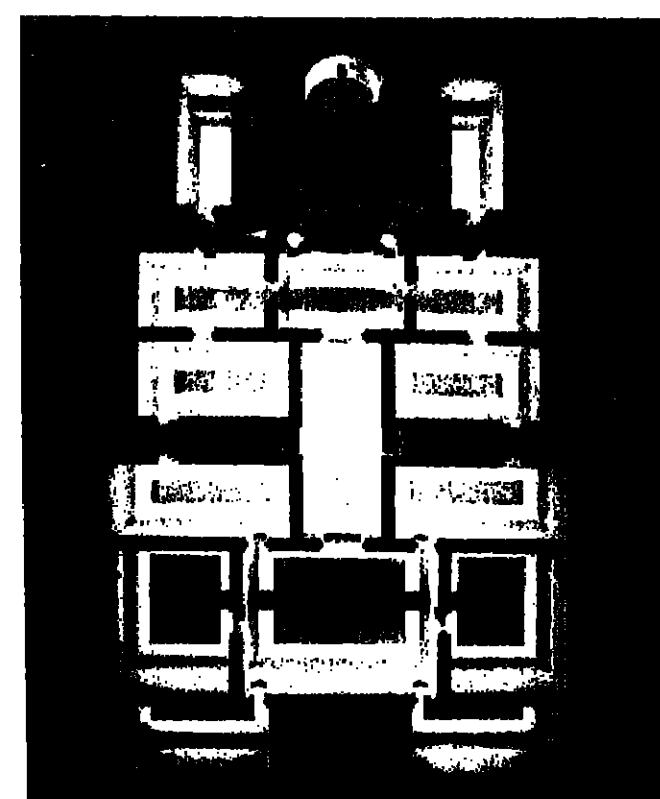
If at first you don't succeed: BHC's massing models.



an explanatory model of the Stuttgart Staatsgalerie



Six tons of stone and steel from Stuttgart



National Gallery ceiling model is suspended overhead

tion of follies and restaurants which look, at first glance, like dismembered parts of Rogers' abortive National Gallery competition.

All this has been tried before by Edwin Lutyens in a Roman manner, but the attractive parts of Rogers' architecture are the lightness of the intended structures, with a pedestrian setting in some ways reminiscent of Hugh Casson's sketches for the '51 Exhibition.

Unfortunately, the technical aspects for dealing with traffic below ground are not as competent as the intended works above. It does seem strange that such a 21st century vision should not be accompanied by six-lane underwater tunnels for both banks instead of just a single four-lane road on the Embankment side.

The Lloyd's building is featured in the context of contributing to the cityscape, but the presentation lacks the sparkle of Foster's multiple slide presentation for the Hongkong Bank.

The most remarkable aspect of the project is that such a creative branch of the Establishment should have conceived and executed it. The RA, which has presented the City of London with a world-class building of our own time. The qualities of workmanship and finish shine out from the pictures, the RA having organised tours for young visitors so that the only home-built work on view can be seen in reality. What a splendid idea for public participation, let alone education for the next league of clients.

The connection between the two main protagonists of hi-tech is explained with small panels in the common entry area. They

spell out in simple terms their early partnership (1963-67), the family and friends, the intense relationship between the larger jobs that came as the practices grew apart. What is not explained is the way that the client, in choosing one or the other, is selecting a systematic design process, whether the budget is lavish or small. Both firms in fact are involved in product development and it was a pity that components or furniture were not used as adjuncts to the building design played.

My concluding accolade is that the Lloyd's and Hickok's Bank can truly be called "New Architecture" without reservations that have on the third exhibitor.

The captioning at the entrance to the top line STIRLING set at a distance above his competitors; this raising of status, I suppose, could be attributed to age, or perhaps bulk. I had better confess that the skeleton in Stirling's cupboard, namely the History Library, Cambridge, is a wonderful feature that can never be quite forgotten when looking at the current work of Stirling and Wilford. I, like many others, was taken in by the library's geometric delights which were recorded in every detail back in 68.

The situation today is a building that has narrowly missed demolition and is in a tumbledown condition, as Lebedevkin's masterpieces High point One and Two came to be in the late 1940s. I make these comparisons deliberately as there is in Stirling's work a considerable element of inventive geometry reminiscent of

continued page 23

GOLDEN YEARS

Alan Blanc was at the front of the Royal Academy for the opening of "New Architecture: Forward Thinking". (Photos: Geoff Beeckman.)



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Model of the revised Stirling National Gallery extension proposal

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Johnson first visited the pioneering microchip factory in Wales shortly after its opening while the building was still in pristine condition, and he took numerous photographs in the

Prompted by photographer Ken Kirkwood's night-time shot, he later revisited Immos, only to discover the spine had been changed virtually beyond recognition. Johnson decided to proceed with a painting but felt impelled to consider his work as a record of the architect's intentions; so he went back to consult the working drawings in Rogers' office to ensure its accuracy.

The poster offer is made to coincide with the current Academy show, and an exhibition of a selection of Ben Johnson's work from the last four years, to be held at Fischer Fine Art in London for one month from November 25.

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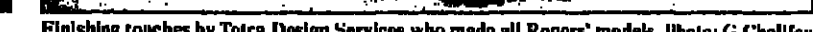


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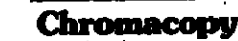
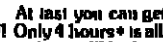
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Golden years

ventry Cathedral or the Guard Barracks, also had this theatrical quality, but their reputation was marred by technical difficulties; poor acoustics, air conditioning and lighting. Coventry and a ton of melted ice that smashed the Colonel's car at Knightsbridge.



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THE Hongkong Bank in many ways represents the engineer's ability to respond to challenge and also to apply innovative and imaginative technical designs to achieve its architectural ideals, particularly those of elegance and quality.

Although it has been likened to an offshore jacket structure, the design, analysis and manufacture of the bank is very much more advanced and complex. The building embodies a high degree of structural integration with services and architecture which produces a compact building of exceptional visual and material quality and efficiency of space utilisation.

There are a number of particular structural features that make this possible. The 200m high reinforced concrete mast, central to the concept, reduce to a minimum the obstruction of the structure to the internal planning; they allow uninterrupted movement through the main structural elements of the building at all levels.

The suspension structures allow the base of the building to be entirely open and creates a

FOSTER FRAMEWORK

Ove Arup & Partners were structural engineers on the six projects in the exhibition. *BD* asked three of the practice directors to describe their involvement, beginning with Jack Zunz.

public plaza of quality and scale. The framework comprises a minimum of components with the aim of providing large span, column-free spaces in which the services and space planning can be organised to the greatest effect.

Modular component design was introduced into the building on a scale not attempted previously in building design, the aim being to improve the installed quality of the building and to reduce the overall time of construction. Of particular note are the 140 prefabricated and precommissioned service modules, each weighing between 30 and 50 tonnes, which contained the services for the super-

structure on a floor by floor basis.

The structural concept was developed to allow the building massing to conform to Hong Kong height and shadow planning restrictions, but also to allow a future 40 per cent expansion in floor area to be realised without modification and strengthening of the main framework or foundations. The expansion would be realised by infilling the multi-level void atriums in the building and the setbacks on its east side.

The performance requirements of the structural components of the building have resulted in the application of materials and manufacturing

technology from engineering fields outside of the traditional building industry. For example, the size and thickness of the tubular within the masts involved the research and then the application of manufacturing techniques more often associated with pressure vessels. Also, the required performance characteristics of the connections in the suspension structures led to the introduction of large maintenance-free spherical bearings, normally associated with heavy mechanical engineering applications.

Although the fabrication techniques used have been applied in some advanced offshore structures, the dimensional tolerances and erection

limitations have been much more restricting than for offshore structures, principally because of the transportation and erection limitations limiting the length and weight of elements. Special details had to be developed to reduce the effect of restrictions.

The prefabricated, prefabricated nature of the building components required careful control of manufacturing and construction standards to ensure the required quality was achieved in the completed building. Manufacture was generally on an assembly line basis and procurement on a huge international scale; the steel framework in the UK, the service modules in Japan etc. In response to these demands, a quality assurance approach was developed for each sub-contract. An essential aspect of this approach was the extensive use of models, mock-ups and prototypes to demonstrate the acceptability of workmanship and materials.

Assurance of the engineering integrity of the design was founded on the following principles:

A commitment to a formalised analysis approach involving the use of computer techniques to enable the whole framework model to be generated and modified as required direct from a simple data base. As an extension to the technique the design checks for all members were carried out automatically and rigorously, using the data base.

Full-scale tests on instrumented prototypes of major structural components to determine stiffness and strength characteristics were carried out. The results of the testing were in

Bank from the east with the photo: Ian Lambot.

turn used as a basis for firming the accuracy and quantity of the assumptions in the formal mathematical analysis of the building. Work involved predictive back-analyses of the prototype tests using large detailed finite element analyses in which the feature of the fabricated components was modelled.

A fundamental and comprehensive research study of wind regime of Hong Kong was commissioned. Further studies and wind tunnel

could be identified and evaluated. Tests on the completed building are to be carried out to verify the predictions.

Tolerances and movements predictions are an important part of the manufacturing specification for components in any building. In the case of the Hongkong Bank, because of the eccentric mass of the building and the structural independence of each of the five building zones, the movement of individual components was particularly sensitive to construction sequencing. Simple, global allowances would have resulted in excessive and unrealistic specifications. As a result, a large effort was made to establish these movements. An approach was developed which modelled the building at each stage of construction and hence enabled predictions of cumulative building movements to be estimated for a range of construction sequences. The predictions were then used as the basis for advising on the corrective measures required at each stage.

However, in terms of engineering risk it is the substructure of the Hongkong Bank which was the most critical. From past projects, the ground conditions in this area of Hong Kong had been shown to be extremely difficult. The soil succession is fill, marine deposits and completely decomposed granite overlying granite at 40m depth. Ground water level is effectively at ground level. The substructure of the bank is a 25m deep multi-level basement with large diameter caisson foundations to granite.

De-watering and excavation in the soils above rock level were known to produce large ground

North-south section showing 6m diameter seawater tunnel blasted out some 80m below ground.

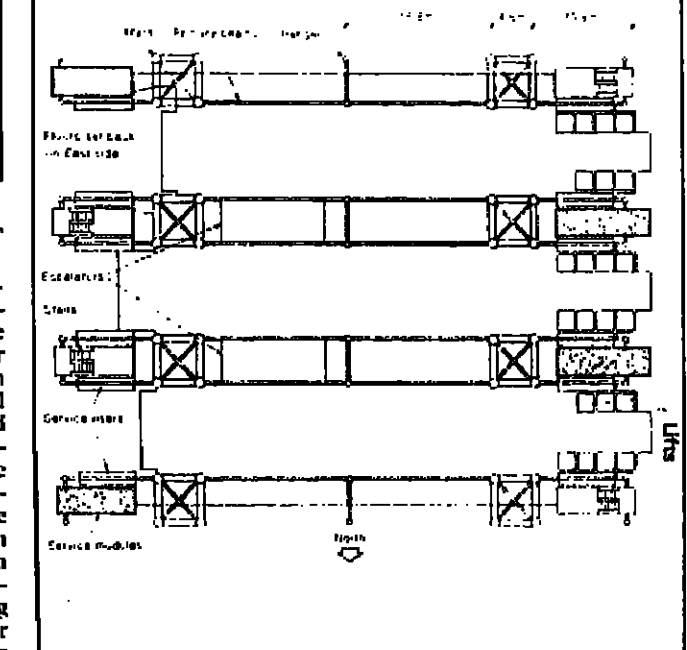
movements. The site is surrounded by large buildings on shallow foundations.

A programme of investigations, studies and analyses was undertaken, aimed at establishing the expected soil properties and preferred construction sequence. The work involved a series of progressively more sophisticated site investigations being made, in parallel with a programme of non-linear geotechnical finite element back-analyses of the behaviour of recent excavations in the local area.

The construction of the substructure was made using a novel combination of "top-

down" and "super-caissons" techniques.

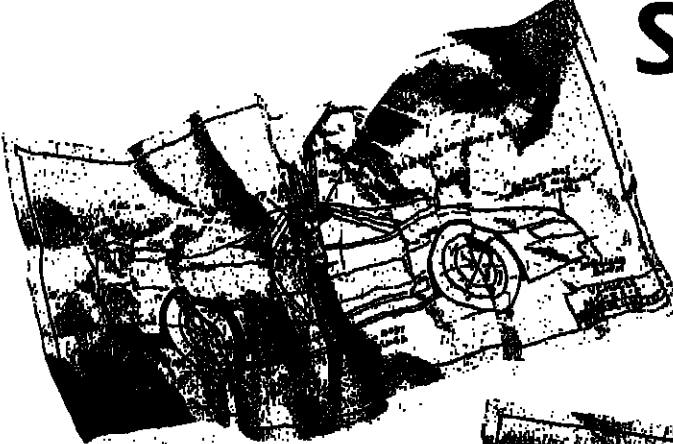
The Hongkong Bank includes a seawater tunnel connecting the basement to the harbour through a 6m diameter rock tunnel at a depth of 80m below ground level. The tunnel was constructed by blasting and without pressurisation. Extensive studies were made of the effects of ground water movements and blasting upon the buildings above, some of which were known to be old and in a state of poor repair. A comprehensive system of measuring devices was installed to monitor actual performance during construction.



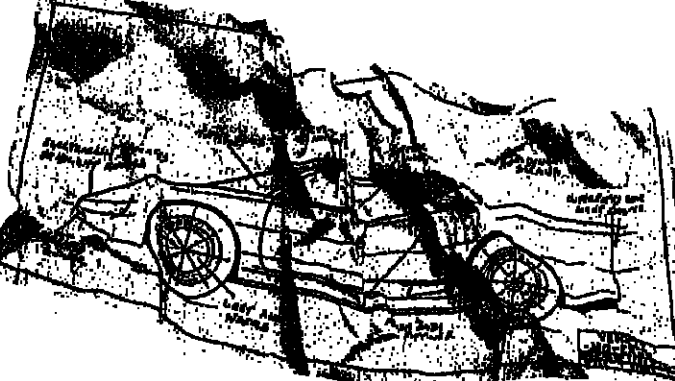
Typical superstructure floor plan.

THERE IS AN ALTERNATIVE TO BAL

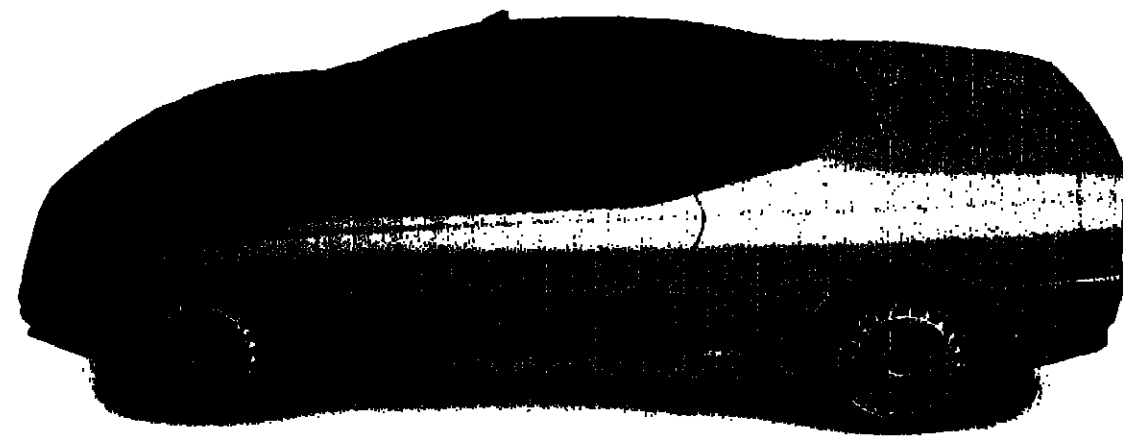




Steel



Fibreglass



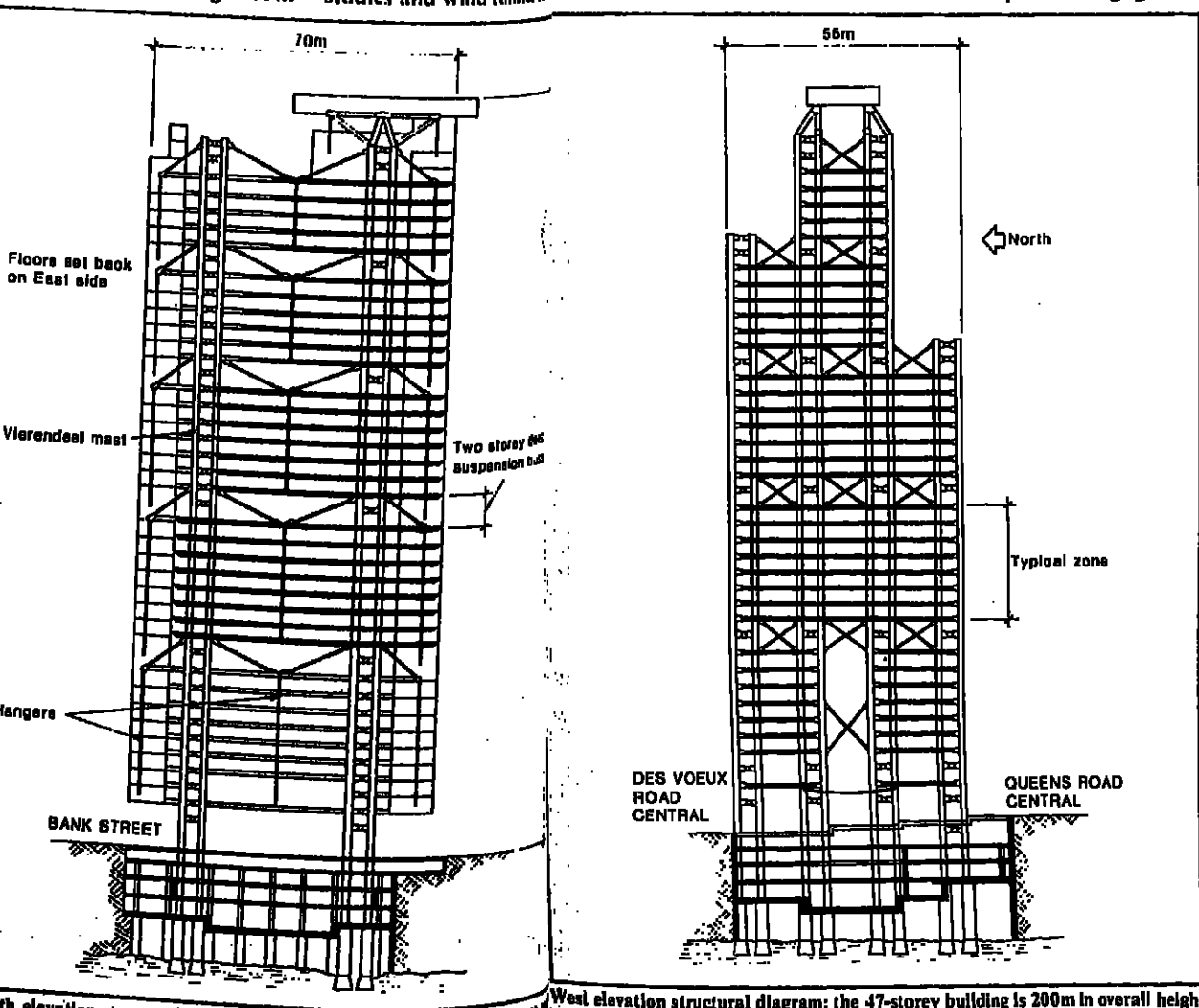
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North elevation structural diagram showing steel-framed superstructure and provides a floor area of 100,000sq metres.

ROGERS REVOLUTION

ONE of the most immediately striking features of the design of Lloyd's is the way the technical functions are expressed and used in the architecture.

For this to succeed at anything other than a superficial level the design must develop a dialogue between the architect and engineer, who cannot simply provide a technical response; he must understand the architectural objectives and take an active part in developing the concept of the building as well as the technical details.

The building consists of a rectangular block, containing an atrium, surrounded by six satellite towers and a stack of

meeting-rooms. A two-storey basement occupies the entire site. As a broad principle the main building above ground contains underwriting and office space, the satellites provide vertical circulation for people and services and the basement contains plantrooms and service activities. Some plant is on the roof and there are plantrooms on top of the satellite towers. The key engineering and architectural element is the main floor and its columns support, and how the design of this could be consistent with the subservient satellite towers.

The most important single aspect of the design is flexibility. Lloyd's have already had to redevelop twice this century

because of lack of space and the inability to adapt to changing circumstances. The need for the building to accept change underlies almost all major design decisions.

The Room occupies the whole of one floor slightly above street level, but this alone is insufficient and the atrium allows additional underwriting area to be provided, within the single space of the Room, by using gallery levels. This also permits future expansion by converting more galleries to underwriting.

Concentrating lifts, stairs, service risers and toilets into the satellite towers and supporting the main building on external columns gives an uninterrupted space within the cladding and

minimises restrictions on use. The vertical and main horizontal ventilation ducts are run externally for the same reason. The arrangement of the horizontal layers of the floor and its grid pattern minimises the disruption of internal reorganisation.

Although various parts of the design are separate in reality, the design moved forward as a whole with the focus of interest moving from area to area in a series of cycles, the development of the design in one area influencing the design in others.

Having decided on the overall shape and arrangement of the main building, the designers were faced with three main problems:

- The construction of the floor itself.
- The nature of the columns and how they supported the floors.
- The stability system.

The size and shape of the building and column positions were derived from the site area, plot ratio and choice of a 1.8m grid while the height came from planning restrictions.

The floor is divided into horizontal zones:

- A 1.8 x 1.8m beam grid.
- A high-level services zone containing lighting, extract air, smoke detectors and sprinklers.
- A steel panel which sits on stub columns at the beam intersections and acts as permanent formwork, provides a services support grid.

- A concrete slab which is a fire barrier and supports a computer floor.
- A low-level services zone containing supply air, heat pumps, electrical power and telecommunications.

- A raised floor which incorporates air inlet grilles and floor outlet boxes for communications and power.

The ventilation scheme is to supply air from the raised floor and extract at high level through the light fitting, thus removing heat at source. The extract air is taken out to the perimeter where it is taken down through one layer of the triple-glazing before passing into the main external extract duct at the same level as the supply air for that floor. This improves the thermal performance of the cladding and makes possible the fully glazed facades which are a feature of the building. The zoning of the floor in this way is fundamental to the concept of adaptable space since it allows supply services to be rearranged with relative ease while lighting, extract and sprinklers occur in every grid.

Both the structure and services are exposed, with no false ceilings. There were particular architectural requirements for the floor structure:

- The structure should be isotropic in appearance. It was important that the floor should be seen as a ring rather than two linked rectangles which meant that the structure had to be a grid rather than a beam system. This was reinforced by the need to partition offices consistently up to a beam soffit.

The beams should have parallel sides and sharp arrises so the eye would be drawn to the soffit rather than up into the coffer. In other words, it should read as a grid of beams rather than a coffered slab.

- The beams could not have joints down the centre.
- The overall depth had to be as small as possible.

The engineering requirements were:

- Strength and stiffness.
- To have a system which could be constructed precisely, with a good finish, within the available time at a reasonable cost.

A variety of structures were examined and the most promising early solution had full-depth beams in the main span direction with smaller secondary beams flowing around the ring. This gave problems in the corner however and did not reflect the real structural behaviour which had high load concentrations at the column support points — especially on the inside atrium corner. By strengthening the beams between supports, and by introducing prestressing into the half-depth beams at the corners, a more isotropic solution



Column bracket and beam joint was found which better.

The next key problem was how to construct the floor column support and the concrete quality was needed.

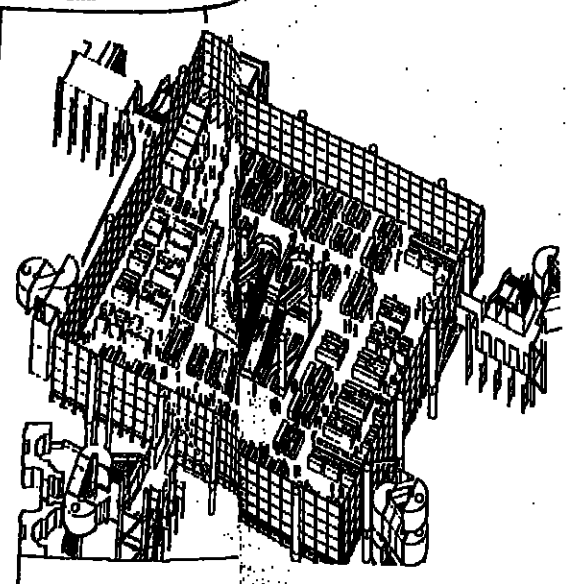
The trials helped in deciding the way construction joints would be used in the appearance of the beam grid and they helped when discussing formwork design with the subcontractors.

Gleeson, the subcontractor for the superstructure, opted for a system which could be broken down. If design was based on folded and welded steel frames with Wisa ply faces, Neoprene gaskets were built into the metal sections, which also formed rebates at joint lines. The components fixed together with bolts and wedges with adjustment for tolerance.

The columns and bracket supporting the main floor was the other key detail in the construction. It was here that

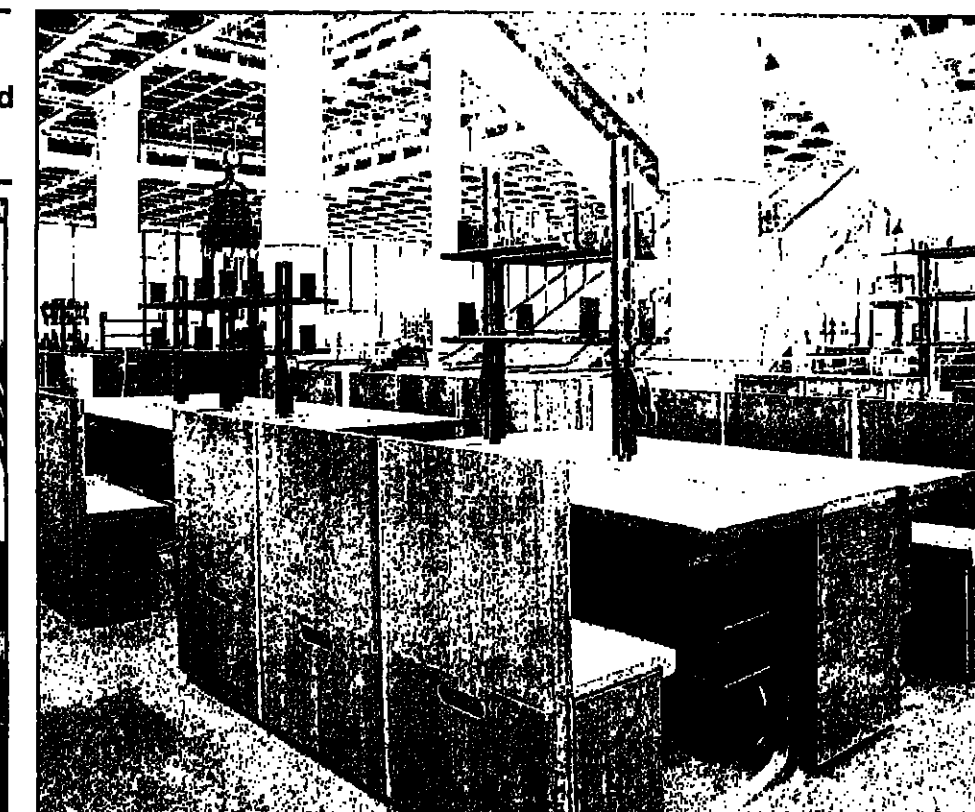


The Room.



Axometric of the design room.

Peter Rice on Lloyd's remarkable new headquarters, designed by Richard Rogers & Partners.



The Room with underwriting box.

The construction logic which was to become the key to concrete quality was worked out. This logic was that in situ concrete elements should be bounded by pre-cast elements. Thus a rhythm of pre-cast — in situ — pre-cast was used consistently throughout the concrete construction.

This helps control the joints between elements, and means that individual in situ elements could be formed and designed with concrete finish as the main objective. The bracket/column joint is a prime example of this thinking. The bracket, which is pre-cast, is made very accurately. Thus the highly reinforced columns were templated, enabling the bracket/column joint to be fitted together simply and correctly.

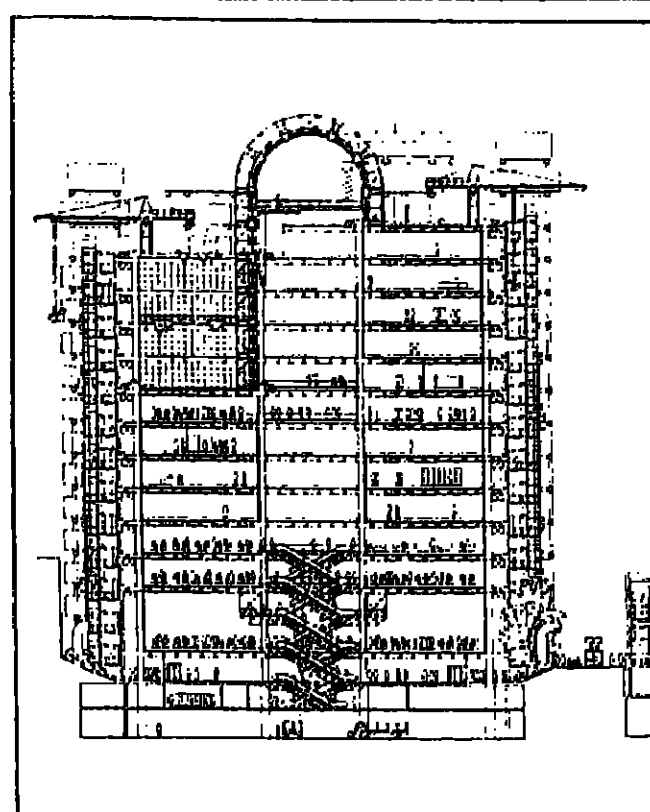
One very important issue in designing a building where the quality of the building is dependent on details as much as the whole is keeping the design consistent. Teamwork is a necessary and vital part of the whole.

But that teamwork only works if the framework of the design concept is strong. Lloyd's with its strong principles of the way of using the pre-cast and in situ concrete together, to control quality and to provide articulation at the details, is a good example of the design discipline. A similar discipline was also used to control the development of the steel detailing for items such as the lift framework where many individual small details contribute to total effect.

The atrium and the atrium support steelwork was also an interesting problem. It was very important that there be no confusion between the glazing pattern seen from the inside and the supporting structure. A mega structure — an extension of the main column grid — was used for the main support. The steel support structure was then placed in the plane of the facade mullions so that it would not confuse the general glazing grid. This organisation also gives a strong pattern and identity on the outside where it is mostly seen from other buildings, and not close up.

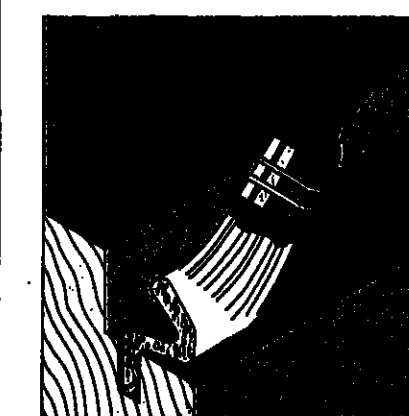
The atrium structure illustrates very well the advantage of strong design rules and a clear design discipline.

It was not solved until quite late in the design, after many of the main decisions had been taken, and there were scepticism in the team who felt that we would be unable to find a satisfactory solution. Once the rules were allowed to operate freely the solution became almost inevitable.

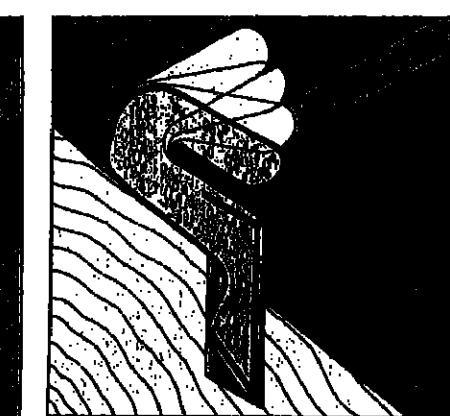


Cross-section through atrium.

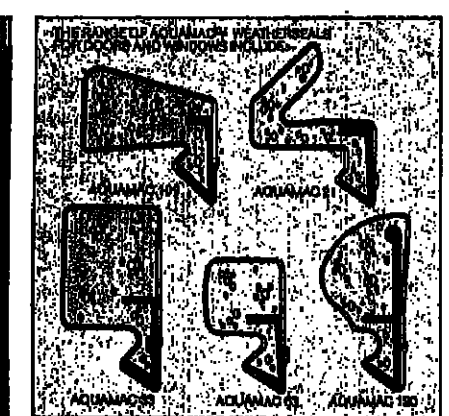
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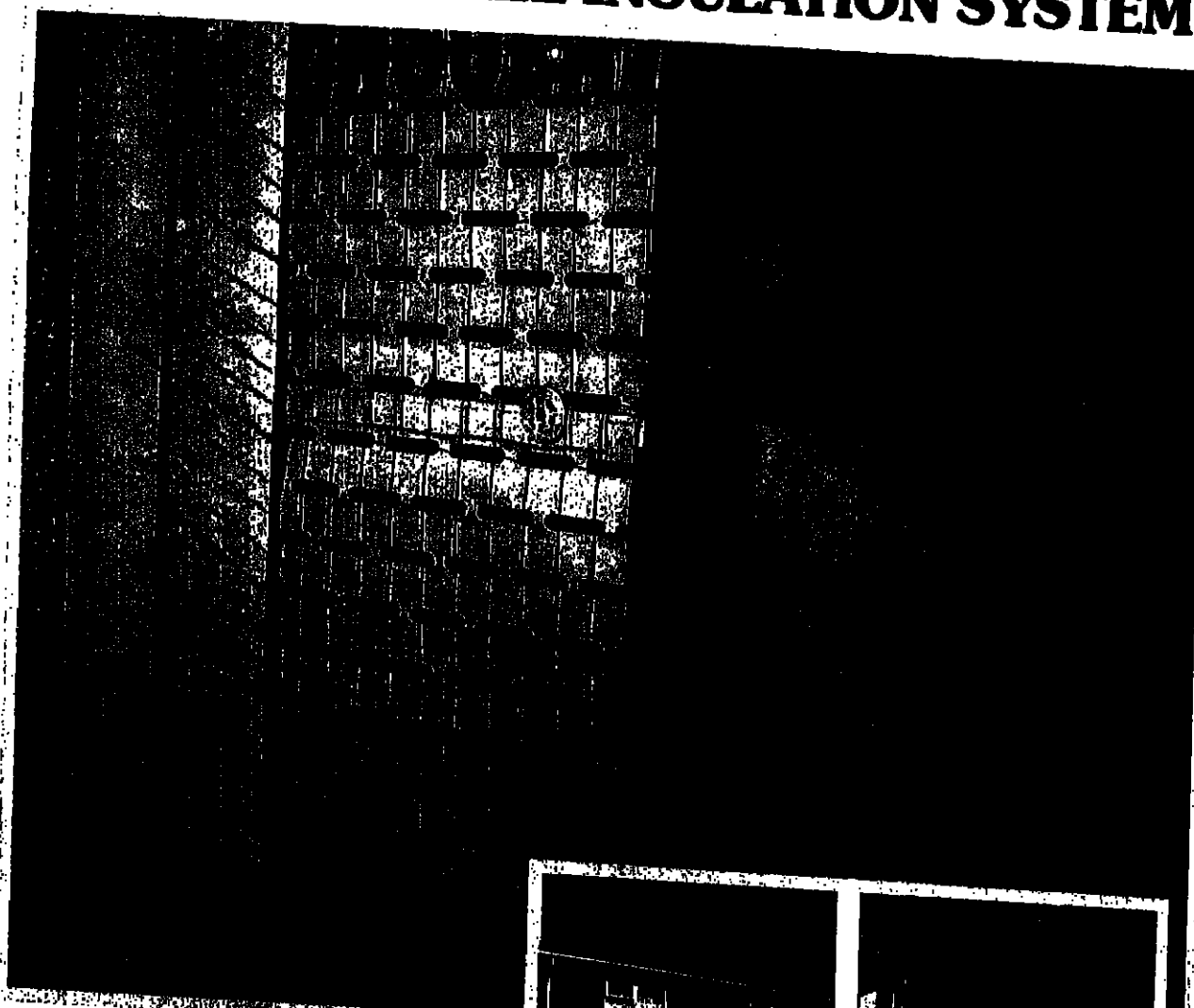


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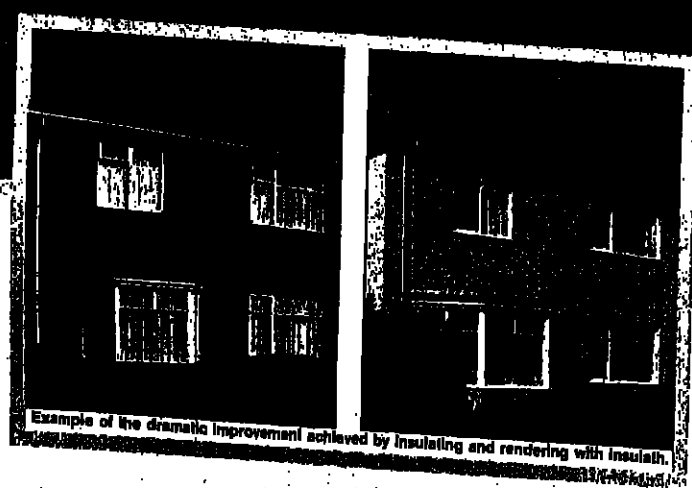
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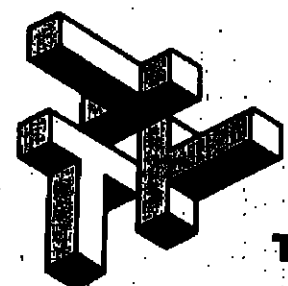
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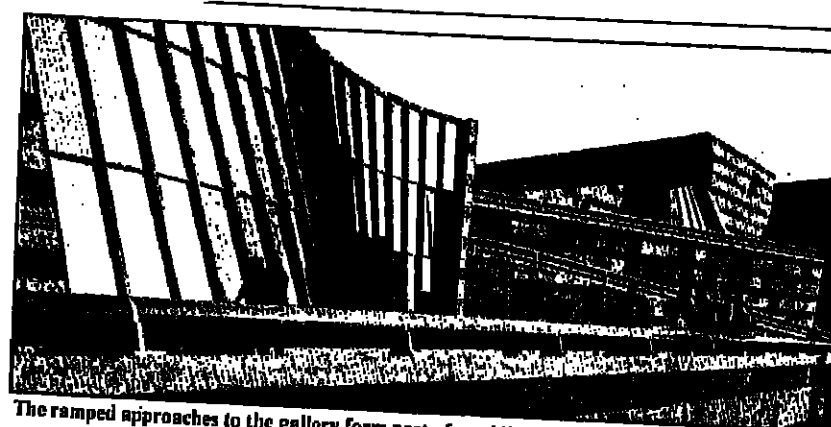


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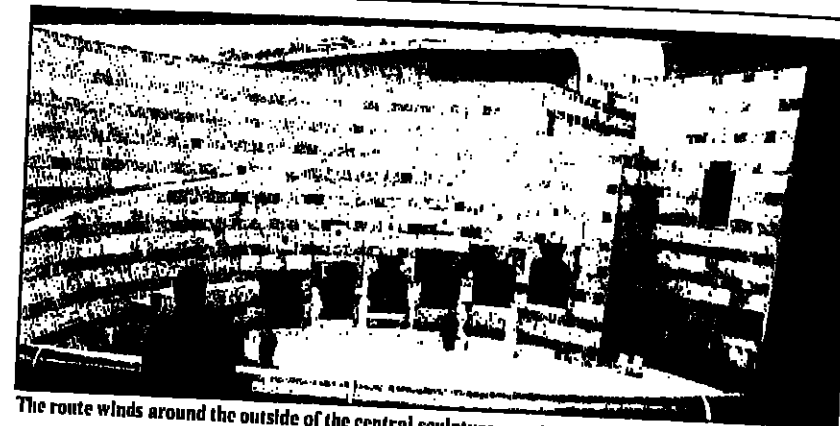


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The ramped approaches to the gallery form part of a public route.



The route winds around the outside of the central sculpture court.

STIRLING STYLE

Cecil Balmond discusses Arup's joint involvement in the structures and services for James Stirling, Michael Wilford & Associates' hugely successful Stuttgart Staatsgalerie.

STUTT GART's new art gallery opened in 1984 to much critical acclaim. The building has been hailed as a breakthrough for the new architecture; an original design that acknowledges the past while creating its own style. Certainly, if the enthusiasm of the public is anything to go by, the building is a success.

The focus of the building complex is a large, open circular space called the sculpture court, around which the various exhibition spaces are planned,

opening onto terrace and foyer levels, and linked by a series of curving zig-zag ramps. An imaginative feature of the scheme is the pedestrian route for the public, which winds up

and round the central court, connecting Konrad Adenauer Strasse at the front of the site with Urbanstrasse at the rear. The public on this route may look into the sculpture court and

view the activity of the podium and terrace areas without visiting the gallery. Local marble and sandstone are used extensively for the external cladding to the build-

ing. Contrasting with this traditional look are the twisting glass walls of the foyer, the steel lattice canopy structures and the angular lines of the elevations themselves; it is a striking mix of high tech with classical form.

Ove Arup & Partners were invited to design the structure and services for the project, as part of a joint venture with Boll for structural engineering and Escher Dittman Nehring for the engineering services. It was agreed that Arups would lead the engineering design up to scheme stage and then transfer the lead to the German-based team for the production of the tender and working drawings.

The client was the local government of Baden-Württemberg.

The initial task for the design team was to work out a structural and services concept that would fit the tight planning of the various levels and yet not raise the building height above that of the existing gallery.

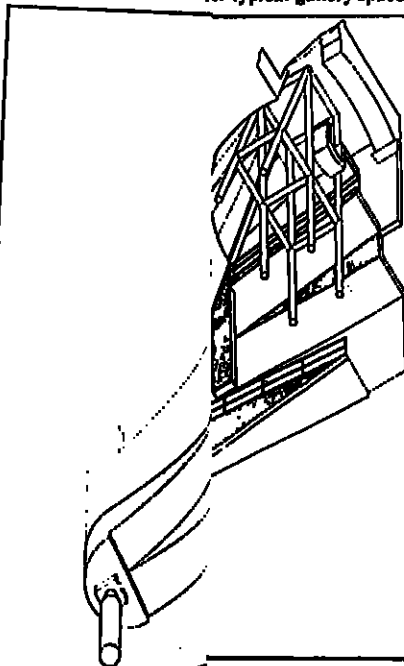
For the structure, down-standing beams were avoided where possible; floor slabs were designed to span directly onto columns or to be supported by walls serving as full storey-height beams. The layout of the services was planned to avoid large horizontal ducts. Consequently, the plantroom was stretched out along the whole length of the building with vertical service risers connected directly to strategic areas.

During the early concept stage the other matter for debate was whether an expansion joint was desirable. Wherever a joint line could be drawn in the structure the details became extremely contorted. The tight "layering" of the various levels did not lend itself to independent structural units; the walls located along all external sides of the building removed any "give" in the structure at the edges normally free for expansion and contraction, therefore it had to be a 90m by 100m structure without joints. It was agreed to deal with the problem by simple crack control procedures, based on the even distribution of strains induced by temperature and shrinkage.

In the detailed development of the structural design a series of finite element analyses was carried out on the main spanning wall/beam elements. Where stiffer wall elements framed into smaller and more slender elements local elastic stress distributions were calculated to satisfy the checking authority.

The competition brief required maximum use of natural light for viewing exhibits. Initially the upper gallery rooms were planned with fully glazed roofs. As the design progressed, however, areas of glazing were reduced to lower the air-condi-

Lighting and air-conditioning typical gallery space.

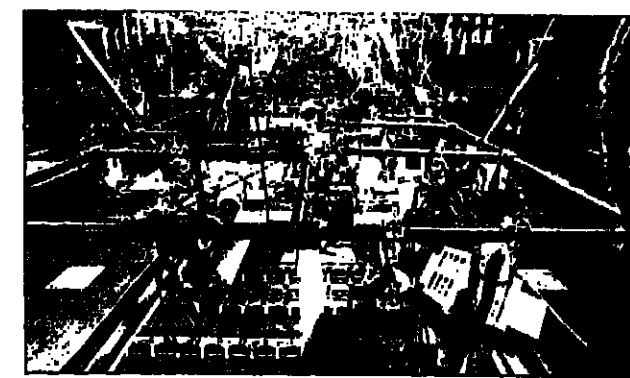


Axonometric up view of the lift structure.



Structure and mechanism of the lift system integrated as a feature of the interior.

Condition years



Lighting grid over the chamber theatre.

experts the air-conditioning systems serving the gallery rooms were designed to maintain temperatures at around 23deg C during summer; 19deg C during winter.

Spray washers, containing alkaline water, together with high-efficiency filters, were incorporated in the air-handling plant serving the exhibition spaces in order to prevent sulphur dioxide present in the external air damaging the exhibits. The system also incorporated frost protection coils and pre-filters, all located at the fresh air intake plenum.

For the upper gallery rooms

air is ducted from the basement air-handling plant to distribute along the edges of the 2m high ceiling void. The supply air is discharged at high level, at low velocity, around the perimeter of the rooms and extracted at skirting level via ducts within the wall linings, equalising vapour pressure in front of and behind the paintings.

Since the roof to the upper galleries is almost totally glazed, the ceiling void above the galleries is treated as a buffer zone, with its own dedicated air-conditioning systems. This reduces the air-conditioning load in the galleries, permitting

solar heat reclaim via the roof, which in turn is used to preheat the building's fresh air supplies.

In the theatre areas a 100 per cent recirculation of return air is incorporated to facilitate a rapid heating or cooling of the space. The supply and extract system were accommodated at high level, above the metal grid ceilings and in the wall linings of the theatre. Supply is through banks of nozzles set in the wall linings while extract is through holes in the concrete ceiling.

Work on site began in 1978 and the job was completed in May 1984. The client's own state building construction depart-

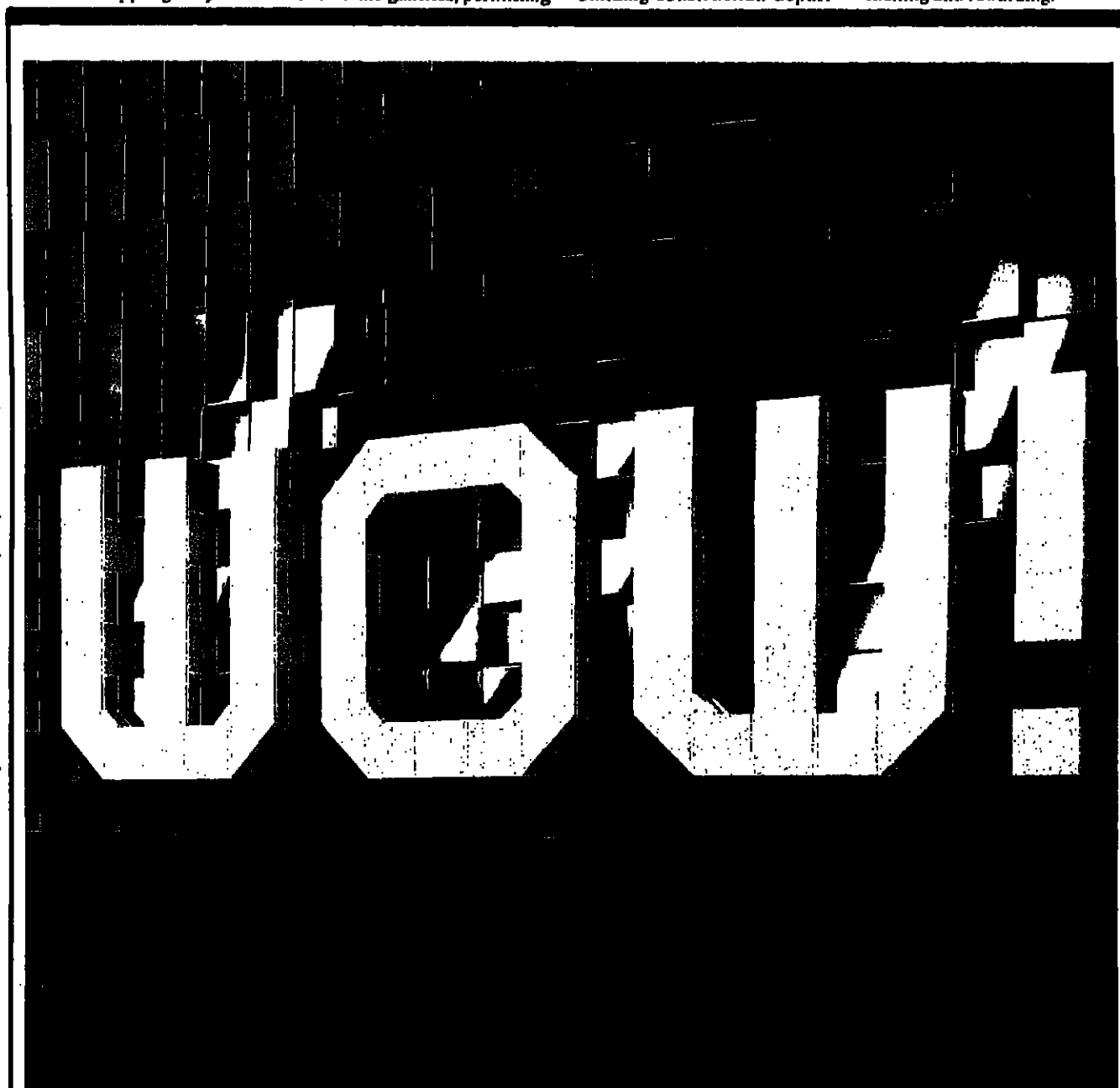
ment, the Staatshochbauamt, acted as project manager on all phases of the project.

Not unexpectedly, Stirling's innovative design caused some critical debate, mainly among the local architectural fraternity, when he won the competition. Now the ingenuity of the design not only receives much acclaim from the critics, but is also obviously expressed by the public's enjoyment of the building.

Those of us in the Ove Arup & Partners' team who were fortunate enough to work on the project found the experience exciting and rewarding.

Entrance-level plan.

Entrance-level plan.



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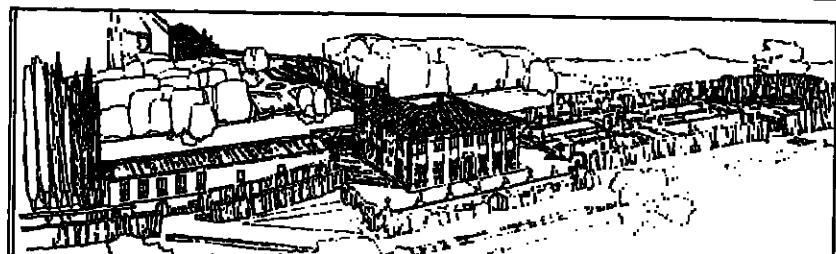
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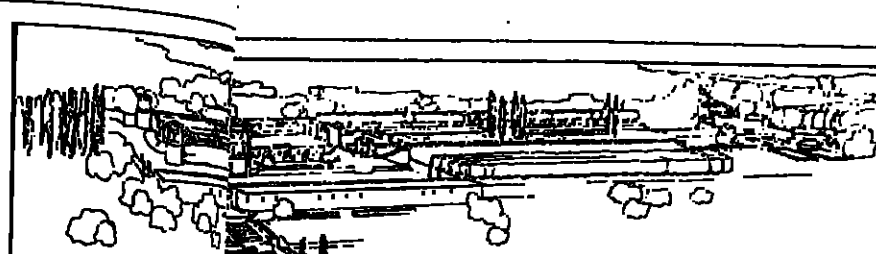
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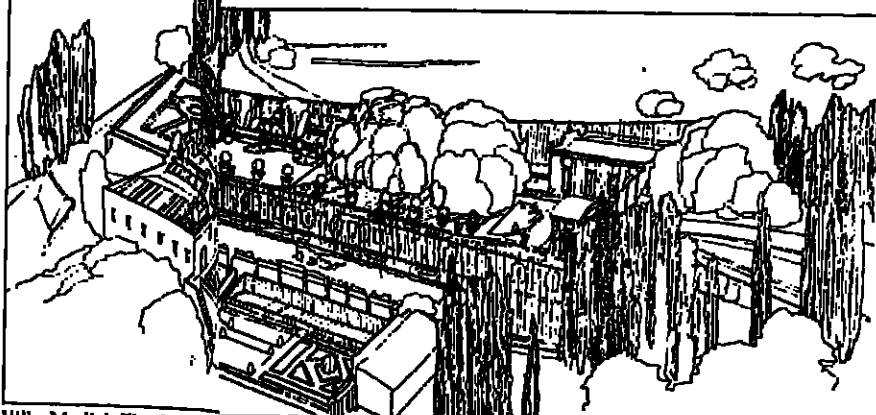
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Return of a classic

By Alan Blanc

Italian Gardens of the Renaissance, J L. Shepherd and G A. Jellicoe (Academy Editions, £25).

It is a real pleasure to find one's favourite volume on Italian gardens back in print

again, and in such sumptuous form.

I should explain that I started cribbing from Shepherd and Jellicoe's masterpiece with the RIBA Library copy, back in 1946, when faced with a weekend esquisse... *A Garden in N Italy*

I have subsequently persuaded Kew to prepare slides of the key illustrations and these have been used for my landscape lectures at Kew Gardens since 1964. More recently I have turned the pages for inspiration with work at Plas Newydd (III. a), and finally, this spring as a Fulbright textbook for West Coast students at Washington State University. One can say that I know the masterpiece back to front!

The work by Shepherd and Jellicoe, in fact, dates back to 1923 when these two young fellows from the fourth year at the AA set out on their year-long grand tour of Europe, the topic of Italian gardens being the suggestion of their year master, L. H. Bucknell. The duties of putting together the first edition were shared, with Shepherd producing all the splendid renderings, ink sketches and photographs, while Jellicoe did the legwork on surveys plus the descriptive writing. Sir Geoffrey's "swan penmanship" is as crisp today as times past, and there's a well-balanced foreword that sets down the crucial philosophy behind the work.

The illustrations and text are timeless, the solidity of the sketches showing with perfect clarity the architectural structure of landscape, devised by such Italian masters as Bramante, Ligorio, Michelozzi and Vignola (III B & C). The range is, in fact, very wide and provides an excellent record in terms of graphics and photographs of these great gardens as they appeared in two enthusiastic in their 20s.

It would be interesting to see a companion volume that tells of the state of these places today and how repairs have or have not been effected.

A more significant grumble from my Yankee students would be the extraordinary way in which the figures and plates are still numbered. I know from personal experience that it all helps to get to know the book back to front, but I do consider that the 1986 reader might be offered captions throughout and an index.

Such grouches shift away as one turns the pages (almost Crown Folio) instead of fumbling through Tiranti's stinky edition of 53 and when one can "walk through" one's chosen paradise with plan, section and photography available to guide the mind's eye through light and shade, parterre and water, and all the delights of that garden of the world, whether it be the Roman campagna, Tuscany or Venetia. There are sylvan words to

guide the thoughts and following is offered to those who wish to follow Sir Geoffrey's theme.

"The most general principle suggested that the gardens should be defined as they left the like water ripples spreading from a centre, to die gradually in their surroundings. Lines always formal but less emphasised. The verse of this was a very higher ideal. It aimed that garden should merge out but from, its surroundings. There is one garden where has been tried and reshaped, the Villa Lante at Baginbun. The excited stream of waters from the woods, down hillside, and floods into the formality of the relation of formality to informality. In any design where nature is admitted, such as the garden, this relationship is the first consideration."

The spacial sequences and their ebb and flow as illustrated by Jellicoe and Shepherd are very different from the deadpan space filling seen in Boffi's "parterre" for a dried-up river bed in Valencia. The latter does not lead the eye but blocks it at every opportunity. The visual delights prepared by the late John Chien Shepherd (1896-1978) make the volume into a classic and one that should be on every architect's bookshelf whether a "landscape" or not; should the reader be afflicted by post-modernism then *Italian Gardens* would show them that "Fings ain't what they used to be".

It's a sure sign they didn't use Styccobond

The route to successful floorlaying can sometimes appear deceptively simple. But beware the hazards — of matching adhesive to floor-covering, to subfloor condition and to performance requirements.

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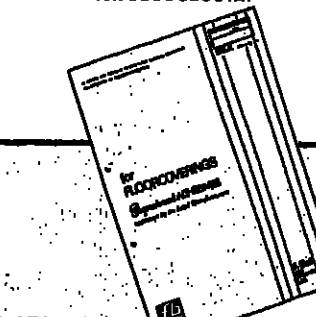
Which adhesive to use where and with what product is detailed in the Styccobond "Recommended Adhesive Guide". It contains adhesive recommendations for over 1200 brand

name floorcoverings from some 130 manufacturers.

Advice on the installation of floorcoverings is available from F. Ball's Technical Department. But as the first step to a perfect finish, ask for a copy of the "Recommended Adhesive Guide" now.

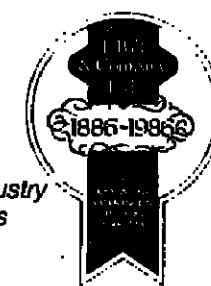
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Tel: 0538 385612.



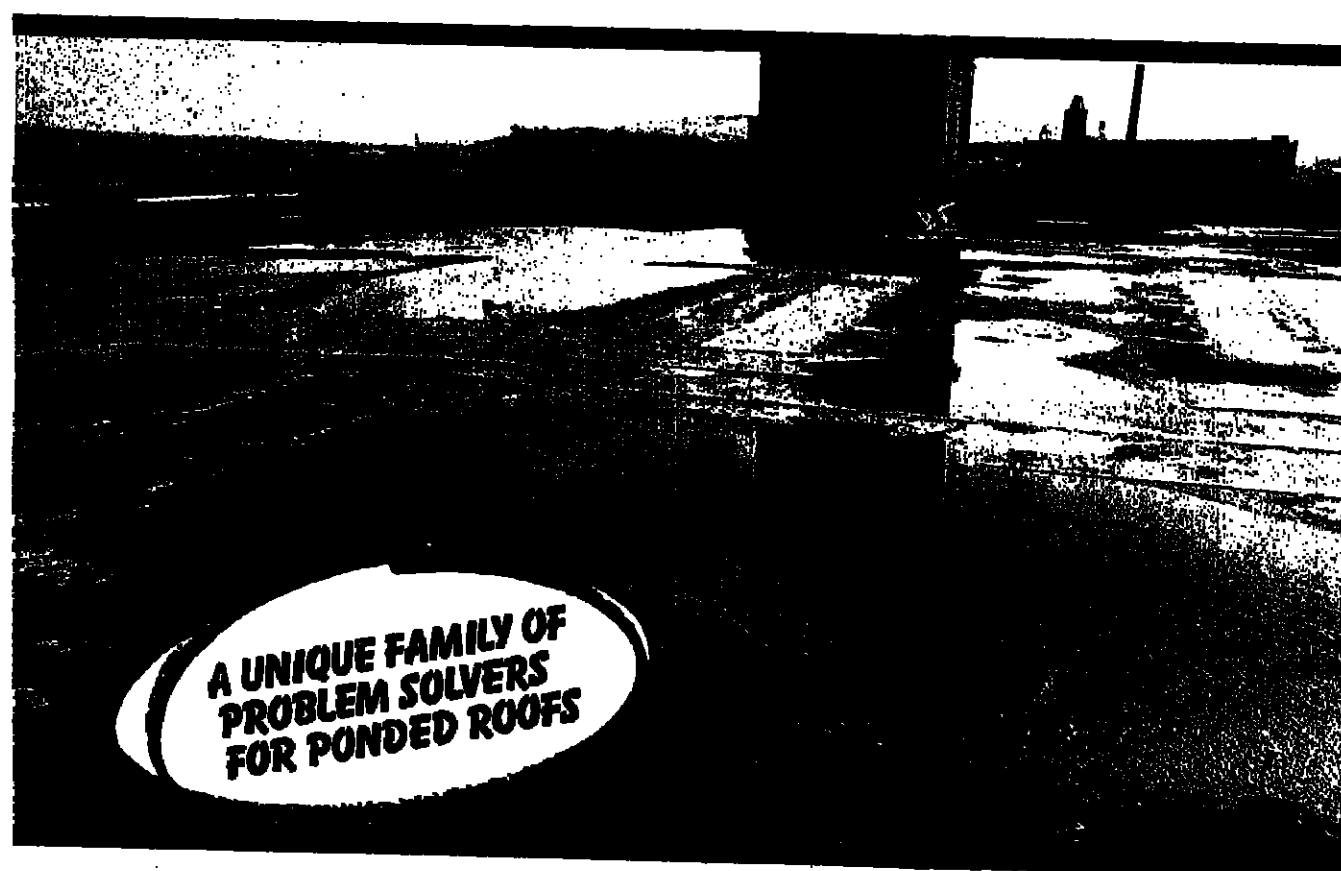
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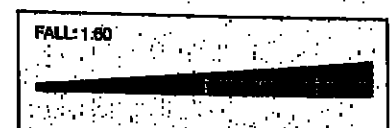
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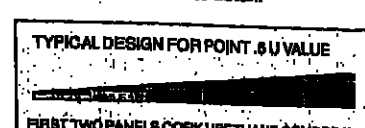
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FALL: 1:50

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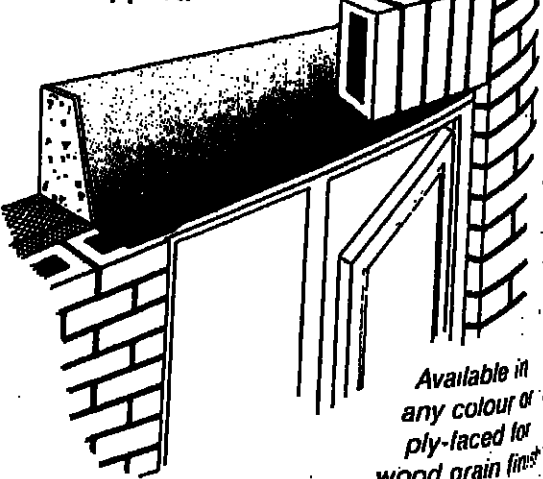
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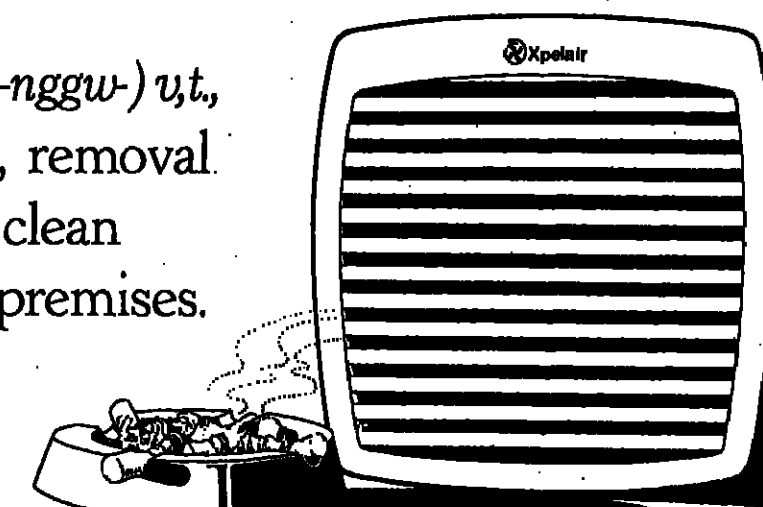


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CIRIA quality assurance

EVERY now and again there have been outbursts of concern in many quarters about the confusion which seems to exist over quality assurance.

Worries often centre on the multiplicity of schemes which have sprung up. Who sets the standards on which the quality assurance certificate is awarded and are these standards (when not attached to a recognisable BS or similar document) really more than a statement of the manufacturer's view of what he can achieve with consistency and not what he should be able to achieve?

This concern, over what could become an expensive concept and one of limited worth, has now excited the Construction Industry Research and Information Association (CIRIA) into activity. In July this year the first meeting of a new working party took place to look into the whole business of

QA. It will try to answer such questions as: how will QA be applied? what will it cost? who will pay? who will set the standards? and who will be liable?

It is hoped that the new working party will provide a channel through which information can be exchanged between various bodies and so promote co-operation and a common understanding of the needs of the industry.

If you would like more information on the products on these pages, fill in and return the pre-paid enquiry card.

Tubular handrails



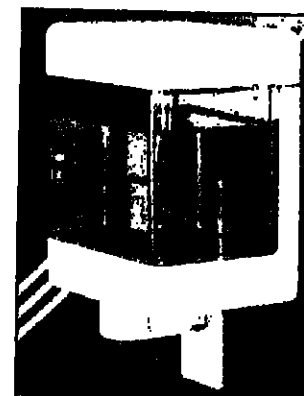
CRESCENT of Cambridge has announced that its new tubular handrail can be fitted to its spiral stairs at little greater cost than a normal flat rail. Previously, such refinements could have added hugely to the overall cost of the stair. Initially Crescent has introduced the tubular handrail in 30mm mild steel, powder-coated and stove-enamelled. Any BS colour can be applied and other handrail sizes can be made to special order.

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New products

Soap dispenser

WITH a capacity of 800ml and a dispensing action which gives 0.8ml of soap at every movement of the lever, the new Visor soap AM soap dispenser from Steiner has a transparent container through which you can see the level of the soap. Filling is an equally simple task through the clip-on top. The dispenser is robust, will not drip and is supplied in one colour combination (smoky container and light grey support and cover). Other colours can be supplied on large orders.



Enter 104 ON EXPRESS ENQUIRY CARD

Patio doors

SLIMLINE frame profiled patio doors will thickness and facility to take any loading system — these are the new OS Countess in-line, door system from Skyline. Profiles are multi-chambered, one hundred per cent rot proof. Weather resisting gaskets, by quality handles, locks, bolts seals are other benefits of the system. White, brown, woodgrain profiles can be supplied.

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Document delivery



SOVEX Marshall's tipping tray elevators are vertical transfer systems for documents. They provide between-floor delivery and incorporate trays which automatically tip their loads out at pre-selected discharge points. The user selects this point by pushing a button on a tray-mounted panel. The trays move continuously, but no undue haste is required to insert a document in the system as the trays move past at a steady speed. Sovex Marshall designs, manufactures, installs, commissions and services its systems.

Enter 105 ON EXPRESS ENQUIRY CARD

Spa baths

COLLECTIVELY known as Hallmark Spas, five new spa baths have been introduced by Aquatech Marketing. Intended for normal domestic use, these spas bridge the gap between existing whirlpool systems and the multi-person spas which are too large for most bathroom installations. All Hallmark Spas are vacuum-formed in acrylic with a backing of heavy reinforced grp. They are available in white and six colours to complement the decor of most bathrooms. Other colours can be supplied to order.



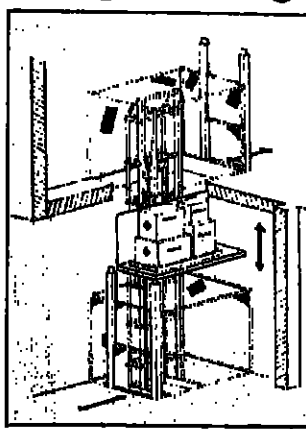
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Automatic dehumidifier

COMPACT and attractive appearance, the new Westa Dry-Jump Model 10120 dehumidifier is said to be capable of extracting 4.5 litres of water from an atmosphere with temperature of 20deg C and 60 per cent humidity — enough to control condensation problems in an average 2/3 bedroom flat. And all this is done at the expenditure of only 100W of electricity. Once a required level of dryness, the equipment runs completely automatically.

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Reciprocating conveyors



NOT subject to elevator codes, but said to comply with all European building standards, Giant Lift's Model RJS Vertical Reciprocating Conveyors are self-contained and self-supporting. They have an all-welded structural steel construction and can be installed indoors or out. Custom-built with load capacities from 1,200kg to 44,000kg, the maximum lift height is 24.4m. RJS conveyors can be mounted on the floor or in a shallow pit with electric hydraulic or electric cable drives.

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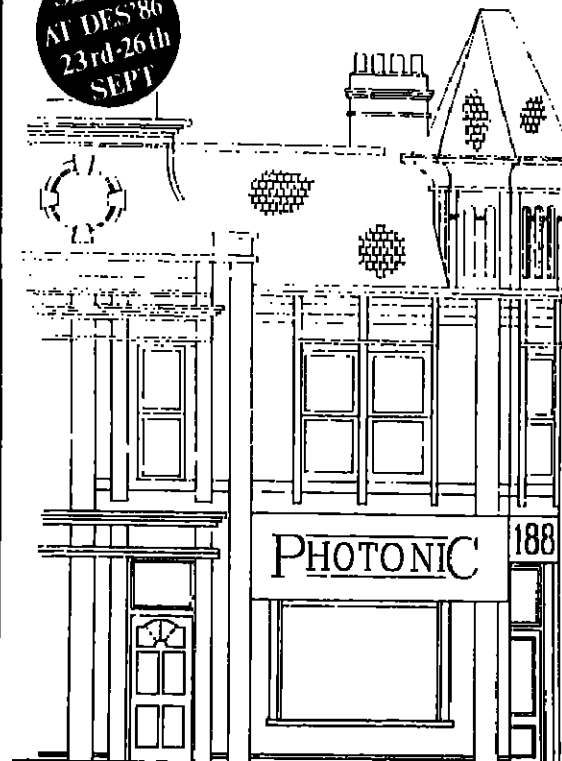
Bay roofs

OFFERING cost-effective and maintenance-free elevational embellishment, the new GRP Storming Plasics bay window roofs have the appearance of authentic lead-covered roofs. There are three models, all available with fascias in any BS colour. Roofs are delivered complete with structural timber which have previously been treated with preservative. Other materials are plywood soffits and 100mm thick insulation.

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We'd be the last to dispute the necessity of stringent fire regulations. In fact, we applaud the British Standards Institute for its unflinching thoroughness. But the fact is, complying with building regulations for fire glazing imposes design restrictions that have always been a burden. Enforcing uniformity and stifling creativity.

Until now. With new technology gained in the development of fire resistant glazing for several large projects including the Hongkong Bank's remarkable new headquarters, Elemeta have created a new range of Fyrespan glazed fire doors and screens, offering architects a level of design freedom never before possible within the constraints of BS476.

Fyrespan AF60 glazing, for example, is the first fully glazed system to comply with BS476, for stability, integrity and insulation (resistance to heat radiation). All Fyrespan systems are fire rated for at least 1 hour, with Fyrespan A120 providing in excess of 2 hours stability and integrity.

If you'd like to strike a blow for freedom, find out more about Fyrespan — phone us now, or clip the coupon. Elemeta Fyrespan
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Gorst Road, Park Royal, London NW10 6LT
Telephone 01 965 8744, Telex 887228

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Fire resistant glazing systems

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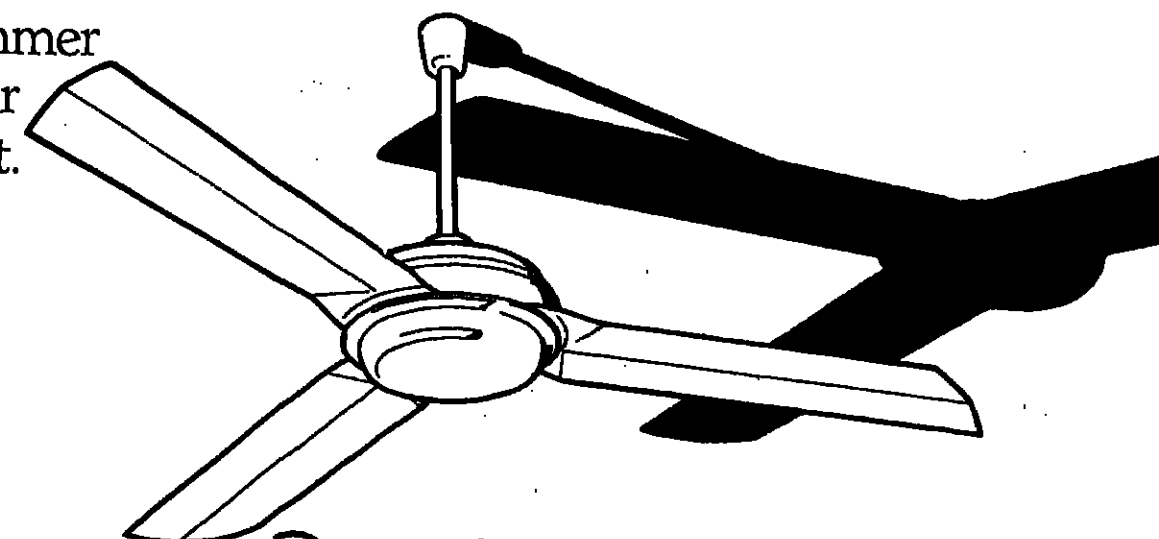
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Cygnat laboratory furniture for the experience of a lifetime

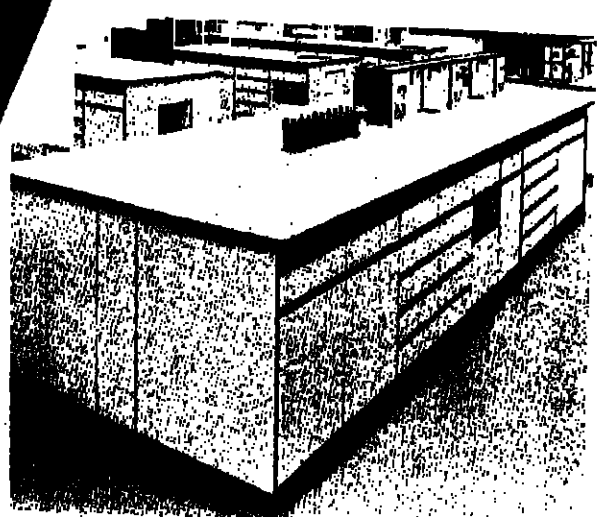
Cygnat Joinery Ltd. are specialists in the manufacture of industrial and medical laboratory furniture and DHSS/MDB hospital furniture.

Cygnat products are in use in almost every U.K. university, plus numerous hospitals and further education establishments. The company has also become increasingly involved in exporting to Africa, the Middle East and Asia.



Laboratory Furniture

The Cygnat range of laboratory furniture includes underbench units (mounted, suspended or fixed types), wall units and bench assemblies together with a full range of bench tops and frames (see publication PH21).



Fume Cupboards

Cygnat 1000 new generation fume cupboards are competitively priced with exceptionally low energy consumption. They give maximum operator protection conforming to BS5726 and are attractively designed. Cygnat also complies with the requirements of DD80. (See publication PH22).

Hospital Furniture

Cygnat have for several years been a selected manufacturer of MDB furniture for the DHSS hospital programme. In addition to MDB/CDB (see publication PH20) Cygnat offer an extremely competitive in-house range. A full installation service is also available. Fill in the coupon for further details.



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☐ PH21 ☐ PH22 ☐ PH20

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New Products

Conservatories

MACHIN Designs has introduced a new range of all-aluminium conservatories. These supplement its previous range of combined wood and aluminium conservatories. The aluminium form of construction frees Machin Design from the size limitations of its previous type of structure. This means that the new range of conservatories is particularly suitable for large commercial purposes, such as shopping malls.

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F R Glass

SCHOTT Glass points out that its fire-resistant glass, Pyran, has one significant advantage over alternative fire-resisting glasses — one thickness of glass satisfies all fire ratings. Pyran is not wired or laminated, it does not crack in intense heat and it stays clear at all times. What is more, it is only 6.5mm thick and weighs no more than 15kg per square metre whether rated at 30 minutes or two hours. This makes massive insulated fire-resisting screens unnecessary.

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Man-made slates

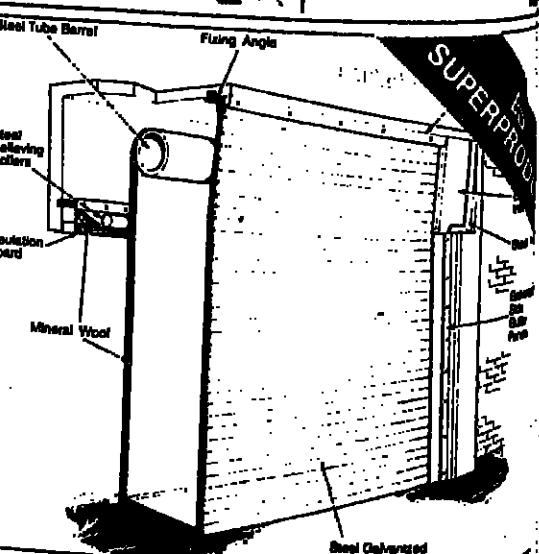
TOSCHI man-made, asbestos-free slates are now available in this country from Allan Blunn. Three features set Toschi slates apart from its rivals. First is the Streusicht process which concentrates more pigment in the upper layers of the fibre cement base; second is the entire coating of the slate (edges, back and front) with acrylic to inhibit efflorescence; and finally, the packing of 20 slates with paper interleafing to avoid scuffing or scratching.

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Hand dryer

INFRARED sensors activate the new no-touch warm-air hand dryer from Saville Stainless in the user's hands. Safe, effective and efficient, the dryer operates for 60 seconds and then automatically cuts off. With a noise level of 65dBA at 1m and a throughput of 4cm of air per minute at 50deg C above ambient, the unit has high performance, all within a compact casing — 260 x 250 x 135mm.

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FIRE CURTAIN

A REAL breakthrough has been announced by Wormald Building Products. Its new Pyroshield fire curtain has been tested by the Warrington Research Centre for more than five hours without failure. Its integrity remained unbreached until the 296th minute and it achieved the insulation rating of 180 minutes. This is an astounding result considering that the insulation feature of BS 476: Part 8: 1972 is never a mandatory requirement in present building legislation. The normal approach to a four-

hour fire shutter is to install doors with a space between the door and the frame. Now Wormald is achieving a result with a single piece of equipment which looks rather like a huge roller blind, the "Pyroshield" which is made up of galvanneal steel curtain units, filled with mineral wool insulation. The event of fire to totally seal the opening, which can have a width up to 12m.

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Technical literature

Wide-span glazing

SAID to be a new concept in natural light structures, Duplus Domes has introduced Lightspan for use in covered ways, bridge walkways and similar structures. In a recent four-page colour leaflet Duplus Domes has explained the service it offers, which includes a team of consultants on hand to help the designer with any problems during all stages of work. Lightspan consists of aluminium framing in various finishes, combined with single or double-glazing in several glazing materials.

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Composite cladding

Profiles

A choice of 5 different and 2 different profiles taken from the PAF standard profile range provides a wealth of design options. All profiles are available in both solid and hollow sections.



Moveable walls

TRACKWALL has introduced a new four-page RIBA data sheet covering its Trackwall moveable, fire-rated acoustic panel system. Packed with useful detail drawings, this sheet explains how Trackwall units can be easily stored and, when extended, can give high levels of sound attenuation between adjoining rooms. The system is virtually maintenance-free and can be operated by unskilled personnel. Panel heights up to 11m can be supplied with a double skin steel construction, filled with acoustic insulation.

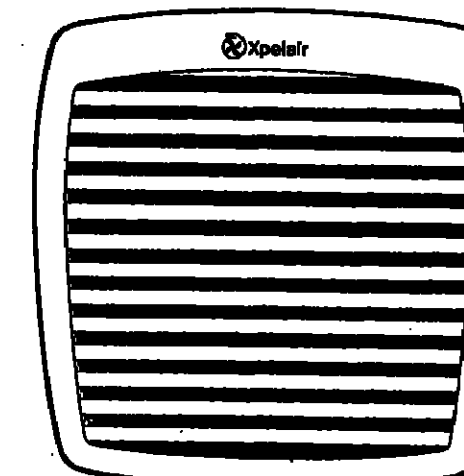
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Victorian lamps



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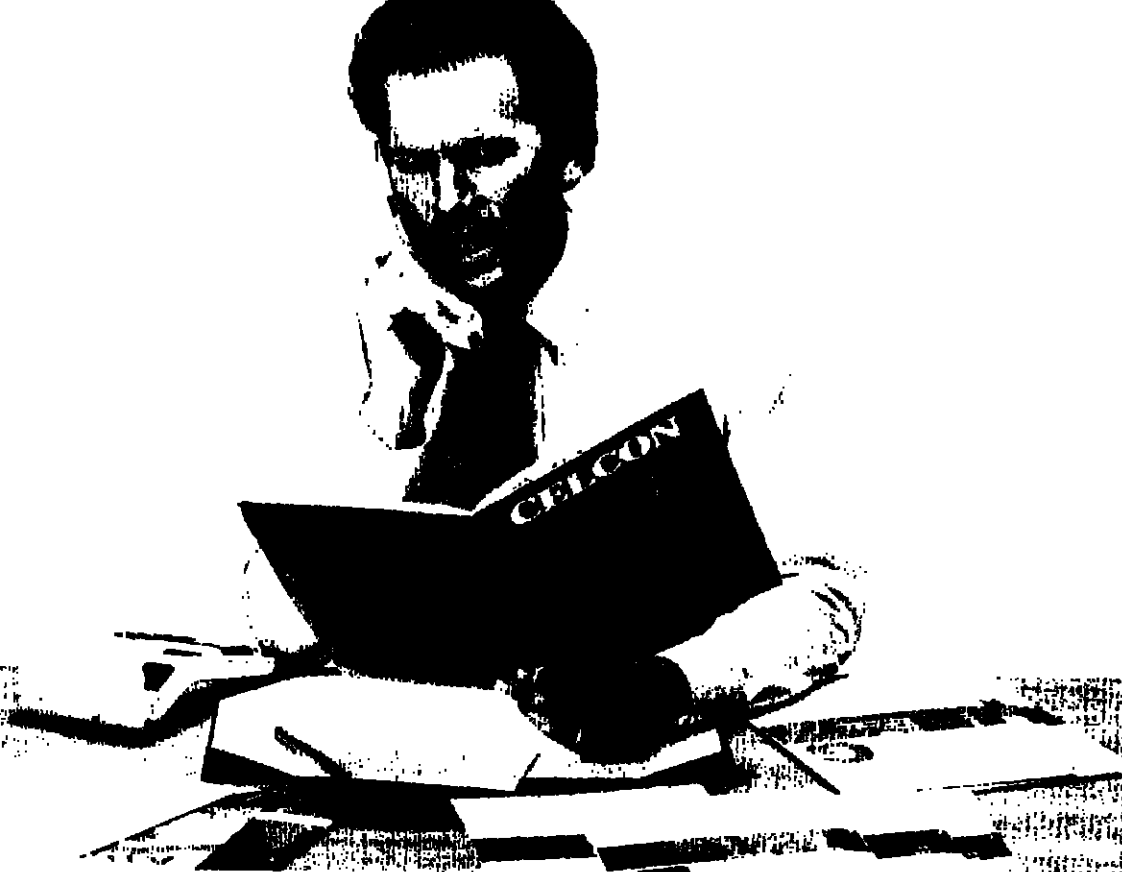
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CELCON WITH AUTHORITY



Take the new Building Regulations. The Building Control Officers and Approved Inspectors have been studying these for some time; they are the authority. Bound to be one up on you when it comes to the nitty gritty.

But there are one or two important things you should really know. First and foremost the Regulations themselves, quite a slim document, are the law. The rest, Manual and Approved Documents, show you how you might choose to meet those regulations. It's the same as the old bye laws. They were in one typeface, the 'deemed to satisfy' provisions were in another and therefore not binding.

Any previously approved Celcon form of construction will meet the requirements of the new regulations. For Celcon nothing has changed. Take for instance, insulation, 125mm of suitably finished Celcon Solar inner leaf to brickwork gives you 0.6 and therefore meets that regulation.

If you want a slimmer wall 150mm solid plus tile hanging or something similar will also do the business.

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Dateline

Items for consideration must be received 10 days prior to publication

This week

Today until Sunday
London Fields artists open studios, exhibition of the work of 50 artists in their own studios.
Venue: Space Studios in Victor House, Richmond Road and Martello Street, all of which are in Hackney, Friday 6-9pm, Saturday and Sunday 12-7pm.
Details: Space, 01-278 7751.

Today
Urban Conservation: politics & values, seminar organised by Oxford Polytechnic.
Venue: Oxford Polytechnic, Headington, Oxford, 9.30am.
Cost: £5.
Details: Carolin Tidbury (0865) 60035.

Today
New developments in practice, annual conference of the association of consultant architects.
Venue: Sedgwick Centre, London E1.
Details: Jeanne Radford (0272) 293372.

Saturday and Sunday
20th century living in houses of the past, a two-day lecture series organised by the Huntingdon Centre.

Venue: The Huntingdon Centre, The Vineyards, Bath BA1 5NA.
Details: 01-708 1976.

Tuesday
Lunchtime lecture on Norman Foster by Alan Best, editor of *Designer* magazine.
Venue: Reynolds Room, Royal Academy of Arts, Burlington House, Piccadilly, London W1.
Details: RAA, 01-636 7076.

Tuesday
The use of stone in building, an afternoon course organised by the standing committee on natural stone.
Venue: Geological Museum, Exhibition Road, London SW7.
Cost: £25 per delegate, £8.50 for students registered with architectural schools.
Details: The Secretary SJCS, 82 Cavendish Street, London W1M 8AD.

Tuesday
Low-cost CAD workshop organised by the Building Services Research and Information Association.
Details: Ann Noblett, 01-229 2488.

Tuesday
Latent Damage Act 1986, Liability for latent damage, seminar organised by RIBA Services Ltd.
Venue: Gloucester Hotel, Harrington Gardens, London SW7.

Details: Charlotte Dale, 01-580 5533.
Wednesday
Decoding the wind code, tutorial organised by the Building Research Establishment.
Venue: Building Research Establishment, Garston, Watford, WD2 7JR.
Cost: £46. Those attending the tutorial should bring their copy of the code with them, copies are available from the British Standards Institution at 61 Green Street, London W1 or 195 Pentonville Road, London N1.
Details: Patricia Rowley BRE, Garston, Watford WD2 7JR. Tel: (0923) 674040.

Wednesday
Structural surveys, seminar organised by Liverpool Polytechnic, Department of Surveying.
Venue: Tickle Trout Hotel, Preston New Road, Salford, Lancs. L30 6PM.
Cost: £25.
Details: Anne Roberts, 051-207 3581 (ext 2601/2602).

Wednesday-Friday
Three one-day "hands on" computer workshops.
Venue: The Construction Industry Association, Guildhall Place, Cambridge CB2 3QJ.
Details: Information Officer, CICA (0223) 311246.

Thursday
Right to roam, lecture by Roger Clark, assistant director of the Countryside Commission.
Venue: East Midlands Landscape Group, Lockington Hall, Kegworth, Derby 7-7.30pm.
Details: Phil Reach (05097) 2772.

Thursday
A future for existing buildings, two seminars on refurbishment organised by CIBSE.
Venue: Building Engineering Centre, Balham, London SW12.
Cost: Whole day, CIBSE members £37.50 non-members, £49.45.
Details: CIBSE, Delta House, 222 Balham High Road, London SW12 9BS.

Wednesday
Value for money — Planning gain: how to calculate it, one-day course organised by Oxford Polytechnic.
Venue: Oxford Polytechnic, Headington, Oxford.
Cost: £25.
Details: Carolin Tidbury (0865) 60035.

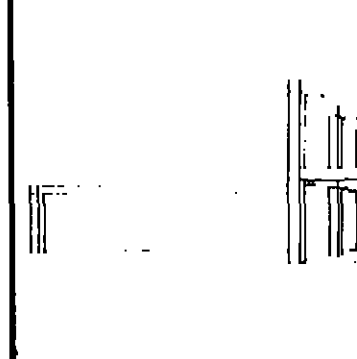
Wednesday
Design energy and airports, organised by the RIBA.
Venue: Hatfield Lodge Hotel, on the A1 Hatfield Hertfordshire.
Cost: £15.
Details: Regional Energy Efficiency Officer (East), Room 227, Ebury Bridge House, 2-18 Ebury Bridge Road, London SW1 8QD. Tel: 01-730 9678 (ext 375).

Wednesday — Thursday
Building Regulations and approved documents, a workshop organised jointly by Salford University and RICS NW Building Surveyors Division.
Venue: University of Salford, Salford M5 4WT.
Details: Trevor Mole, Department of Engineering, Civil Engineering, Salford University, 061 736 5845 (ext 7117) or Meriel Carboni PICUP development officer (ext 468).

Thursday
Architects and their work, lecture by Renzo Piano, building workshop, Genoa.

Thursday
A future for existing buildings, two seminars on refurbishment organised by CIBSE.
Venue: Building Engineering Centre, Balham, London SW12.
Cost: Whole day, CIBSE members £37.50 non-members, £49.45.
Details: CIBSE, Delta House, 222 Balham High Road, London SW12 9BS.

Friday until November 14 Tadao Ando: breathing geometry, exhibition of the Japanese architect's work.
Venue: 911 gallery, 28 Cranmer Street, London W1M 3JH.
Details: 911 gallery, 01-486 3555.



Venue: RIBA, 66 Portland Place, London W1. 6.15pm.
Details: RIBA 01-580 5533.

Thursday
Right to roam, lecture by Roger Clark, assistant director of the Countryside Commission.
Venue: East Midlands Landscape Group, Lockington Hall, Kegworth, Derby 7-7.30pm.
Details: Phil Reach (05097) 2772.

Thursday
A future for existing buildings, two seminars on refurbishment organised by CIBSE.
Venue: Building Engineering Centre, Balham, London SW12.
Cost: Whole day, CIBSE members £37.50 non-members, £49.45.
Details: CIBSE, Delta House, 222 Balham High Road, London SW12 9BS.

Exhibitions

Saturday until November 3
Ruth Duckworth and Janet Leach: New ceramics.
Venue: British Crafts Centre, 43 Earlsdon Street, London WC2H.
Details: British Crafts Centre, 01-836 6993.

Saturday until November 9
Kathleen Bennett drawings and watercolours.
Venue: Guildhall Gallery, Winchester, Hampshire.
Details: 0962 62751.

Until October 15
Revolving renovations.
Venue: Building Centre Gallery, Store Street, London WC1E 7BT.
Monday-Friday 9.30am to 5.15pm.
Saturday 10am-4pm.
Details: Marilyn Wint, 01-637 1022.

Until October 18
New designs in furniture and lighting constructions — Linda Green.
Venue: Prescot Gallery, 369 High Street, Edinburgh EH1 1PW.
Details: Prescot Gallery, 031-225 2652.

Until October 25
Proposals for the Royal Opera House, Covent Garden by Jeremy Dixon, BDP, including drawings, paintings and models.
Venue: Opera House Phase 1 extension, James Street, Covent Garden, London WC2, Monday-Saturday 12.30pm-7.30pm.

Until October 25
Plus minus, exhibition of the paper sculptures of Kisa Kawakami, organised by the Architectural Association.
Venue: Architectural Association, 34-36 Bedford Square, London WC1B 3BS.
Details: 01-636 0974.

Until October 31
With man in mind, an exhibition of two projects from Belgrade, Yugoslavia: an investigation into alternative urban models by Dr Milos Perovic and a proposal for the reconstruction of Central New Belgrade by Dr Milos Perovic and

Branislav Stojanovic.
Venue: Second-floor gallery, 66 Portland Place, London W1. 4AD.
Details: RIBA, 01-580 5533.

Until October 31
Norman Foster, an exhibition: Foster Associates' winning competition entry for a contemporary arts centre and media theatre in Nimes.
Venue: Institute Francaise, 17 Queensbury Place, London W1.
Details: Karen Liebrich, 01-69 6211 (ext 38).

Until December 21
New architecture: Foster, Beyer Stirling.
Venue: Royal Academy of Arts, Piccadilly, London W1V 0QS.
Details: Royal Academy of Arts, 01-734 9052.

Coming soon

October 18
Development control: negative positive, seminar organised by Association of Christian in Planning and Architecture.
Venue: Family Centre, Great Street, East Oxford, 10am-4pm.
Cost: £10.
Details: UICP on (0533) 55100; Andrew Patrick on (0202) 6804.

October 20
Building — a seminar for people organised by the British Standards Institution.
Venue: BSI Conference Centre, Hampden, House, Green Street, London W1.
Details: Gordon Graham, Marketing Department, Milton Keynes MK14 6LE, 051 320033.

October 20-21
User interfaces, gateway or bottleneck? a conference organised by the Gottlieb Duttweiler Institute.
Venue: The Gottlieb Duttweiler Institute, CH 8803, Ruschlikon, ZH, Switzerland.
Details: Dr Thomas Bernold, 724 0020, Zurich office, 01-46 37 16.

October 20-23
Responding to the Audit Commission report (Saving energy in local authorities), a residential course for senior management in local authorities organised by the Centre for Energy Studies.
Venue: Avery Hill College, LE19 5EP.
Cost: £250.
Details: Centre for Energy Studies, South Bank Polytechnic, North Road, London SE1 0AA.

October 21
Lecture on Richard Rogers by Martin Pawley, architect and correspondent for The Guardian.
Venue: Reynolds Room, Royal Academy of Arts, Burlington House, Piccadilly, London W1.
Details: AAA 01-636 7076.

Subscription details

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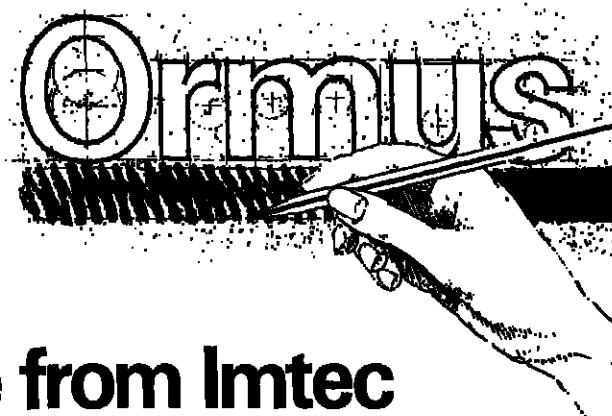
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The salary will be on the Institute's Band 6 scale. Benefits include pension scheme, 25 days' holiday. For further details apply to the Personnel Officer, Royal Institute of British Architects, 66 Portland Place, London W1N 4AD. Closing date for completed applications: 24 October 1986.

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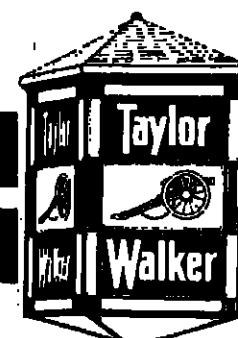
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ASSISTANT ARCHITECT £12,000
To join a progressive practice in the heart of the City of London. You will assist a partner in running nearly 30 projects with a goal to be for personal responsibility, sharing with consultants, attending site meetings, organising the drawing office. A MUST if you are experienced in matters to you.
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01 828 6354
1 Wilton Road, Victoria, London SW1V 1AB

ASSISTANT ARCHITECT £12,000
To join a progressive practice in the heart of the City of London

WINDSOR GOVERNMENT WRITER
46-48 London Road, Twickenham, Middlesex TW1 3RG
Telephone 01-891 0891

We are employment consultants who specialise in the placement of architectural, permanent and contract personnel.
We have vacancies for Assistants/Technicians and Architects in London and Home Counties.
For further details please phone Martin Harrison or Karen Spencer.

Tripe and Wakeham Partnership

require
A SENIOR ARCHITECT
also
ARCHITECTS
SENIOR TECHNICIANS

to participate on a range of interesting projects involving retail, industrial and office developments.
Salaries by negotiation.
Please apply in writing with your full CV to:
S J Snook
Tripe & Wakeham Partnership
16 Fitzhards Street
London W1H 0ER

THE LONDON BOROUGH OF HARROW Department of Architecture and Planning

The Architects Division is currently working on a variety of interesting projects of varying sizes including new build, modernisations, extensions and adaptations, and now requires four new people to join the team.

Senior Building Surveyor

£13,293 to £14,391 Inc. London Weighting
You must hold a suitable professional qualification and have had several years practical experience. You will be required to work on a wide variety of projects ranging from programmed repairs to major capital works, carrying them through from feasibility to final account.

Architectural/Building Surveying Assistant

£7,344 to £13,038 Inc. London Weighting
You will work along side qualified Architects and Building Surveyors, covering all aspects of the Council's extensive building programme. Initially, you will be mainly involved in adaptations to buildings to make them suitable for handicapped people. Ideally, applications should be RIBA/RICS Part 1 or MBAT standard.

Architectural Technician/Student

£7,344 to £13,038 Inc. London Weighting
You will work in one of the architectural groups assisting qualified staff on the larger projects, or acting as project officer for smaller schemes. Applicants should have a good working knowledge of building construction and contract procedures, and ideally, should be RIBA Part 1 or MBAT standard.

Senior Clerk of Works

£11,307 to £12,009 Inc. London Weighting
We are currently undertaking a considerable building programme of both new and housing modernisation schemes. We need, therefore, to increase our Clerk of Works team to meet the demands of our varied building programme and to ensure that adequate site inspection is maintained.

Applicants should ideally be members of the Institute of Clerk of Works and have considerable experience of all types of building works and trades.

Starting salaries will be commensurate with experience and/or professional qualifications. Where appropriate, day release facilities will be available to enable you to pursue studies in order to achieve a full professional qualification.

In addition to a generous holiday entitlement, flexitime and removal expenses where appropriate, Harrow offers a location with good sports and social facilities, is within easy reach of Central London, yet close to the countryside.

The London Borough of Harrow is actively pursuing a policy of equal opportunities, and welcomes applicants from minority and disadvantaged groups. For an application form and job description please contact the Staffing Office, Department of Architecture and Planning, PO Box 39, Chio Centre, Station Road, Harrow, Middlesex HA1 2XA or telephone 01 863 6811 ext 2570.

The closing date for applications is two weeks after the date of the publication.

Harrow Architecture
an equal opportunity employer

TONY HUDSON ASSOCIATES, WINDSOR

Require a young qualified architect and technician with a minimum of 4 years' experience, to join us in our new Windsor offices to work in new and interesting contracts. Initiative and enthusiasm essential. Salary negotiable.
31 Sheet Street, Windsor, SL4 1BY
Tel: Windsor 869886

SANT ASSOCIATES

require an
ARCHITECTURAL TECHNICIAN
to work on a wide variety of new-build projects in the friendly atmosphere of a small design studio. Applicants should have at least 3 years experience.
Reply to:
Roger Baldwin
Sant Associates
Princel House, Dedham, Colchester CO7 6HD

GROVENDEN HEALTH AUTHORITY

SENIOR BUILDING OFFICER

We are looking for a person who wishes to expand their knowledge and gain valuable experience in a wide range of Building Estate maintenance and design.
The duties will be involved in a full range of services including maintenance and refurbishment works, supervision of contract labour and management of a hospital labour force of 30 craftsmen and labourers who are working under a National Incentive Bonus Scheme.
You should have the experience and ability to inspect and identify building defects, specify the correct remedy, provide minor estimates and supervise work in progress.
H.N.C. in Building or other acceptable qualifications are essential.
Salary: £9,564 to £11,488 per annum inclusive plus Incentive Bonus of 15% maximum.
Assistance with temporary accommodation and removal expenses may be given.
For further details contact Mr. A. Gibbs telephone 01-484 6999 extension 4006.
Job description and application form from Unit Personnel Department, Mayday Hospital, Mayday Road, Thornton Heath, Surrey SM7 7YE, telephone 01-884 6999 extension 3536.

The Polytechnic of North London

Reference number L33/N re-advertisement

The Polytechnic of North London is an Equal Opportunities Employer and therefore particularly welcomes applications from Women, Ethnic Minorities and the Disabled.

Temporary Half Time LII in Continuing Professional Development

Responsible for teaching Diploma level students of architecture during their final period of study before entering the profession. The post also involves the structuring of the Department's work in Continuing Professional Development.

Successful candidates will be required to attend for 15 hours per week on a programme agreed by the Department.
Salary: Pro Rata of £9,705-£14,766 (Inclusive of London Allowance)

Application forms and further details are available from The Personnel Office, The Polytechnic of North London, Holloway Road, London N7 8DB. Telephone 089 9913 (24 hour answering service).
Closing date for the receipt of applications is 14 days from the appearance of this advertisement.

Architectural Division ARCHITECTURAL ASSISTANT

(Interior Designer)
£7,344-£10,902 p.a. inclusive

An interior designer (architectural assistant) is required to carry out duties in connection with interior design of new and existing buildings for all types of Council projects, schools, Elderly Persons' Sheltered Housing, Social Services Buildings, municipal buildings, including some listed buildings of historical interest.

Applicants should be engaged in or have completed a course of study which will lead to a qualification as an Interior Designer.

Commencing salary will be in accordance with qualifications and experience.

Post entry training facilities where appropriate.
Closing Date: 22.10.86 Ref: 980AR

Application forms obtainable from the Personnel Office, Room A/204 Town Hall Annex, New Broadway, Ealing W5 2BY. Tel 01-840 1995 (24 hour service). Please quote appropriate reference.

Ealing's new Council welcomes applications regardless of sex, race, ethnic origin, sexual orientation, disability or responsibility for dependants.

Ealing
London Borough

Walbrook

URGENTLY REQUIRE
for numerous temporary and Permanent vacancies in
**ARCHITECTS TECHNICIANS ASSISTANTS
AND INTERIOR DESIGNERS**
Please contact in confidence David Pattinson or Noel McKeever, 66 Red Lion Street, London WC1R 4NA.
Tel: 01-406 8787

WELLIN & PARTNER

ARCHITECTURAL TECHNICIAN
required to help deal with ever increasing workload. Applicants must be self motivated and experienced in aspects of architectural work including site surveys, site plans and working drawings.
Please reply in writing enclosing a full C.V. to:
J K Edge, Wellin & Partners
Building Surveying Services, 114 Oxford Road
High Wycombe, Bucks HP11 2DN

ON THE SOUTH COAST Borough of Havant

PLANNER (Career Grade)

Salary Scale 3-SO1 £6,606-£11,271

This post within a busy development control group offers excellent opportunity to join a progressive team. The post is suitable for graduates in planning/civic design or other disciplines. In addition, some experience in Development Control would help. Enthusiasm and initiative are essential qualities as is the ability to cope with a heavy workload under pressure.

Benefit package includes car allowance and relocation assistance where appropriate. Housing may be available.

Disabled persons may apply as appropriate.

Application forms and further particulars available from:
Director of Technical Services
Borough of Havant, Civic Offices
Civic Centre Road, Havant
Hants PO9 5AX
Telephone: Havant 474174 Ext. 174
Closing date: 27th October 1986.

Planning & Development

Architectural Division GROUP LEADER PRINCIPAL LANDSCAPE ARCHITECT

PO 4 £17,022 — £18,171

Job grading currently under review

An experienced Landscape Architect committed to improving the landscape of the inner city and to working with the community on complex and challenging urban schemes is required to lead the Landscape Group. You will be a member of the Architectural Division Management Group and will be responsible for developing, monitoring and assessing the Landscape Group and you will also represent the Division Committee meetings. You should have a sound knowledge of landscape design, construction and contract administration. Currently the Architectural Division consists of six architectural groups, one landscape group, quantity surveyors and clerical works. The current landscape establishment is eight posts. The group is likely to expand in the near future to 14, giving scope for personal development.

The group handles a wide variety of projects including environmental improvements, new build and rehabilitation housing landscapes, urban programme schemes, new parks and improvements to existing parks, canals, town schemes and advising other council departments and community organisations on landscape matters.

The Architectural Division particularly welcomes applications from black and ethnic minorities, women, lesbians and gay men, and people with disabilities. Applicants are considered on the basis of their relevant experience, abilities and qualifications. Previous applications need not apply.

Application forms are available from Recruitment Office, Town Hall, Mare Street, E9 1EA or telephone 01-886 6331 (24 hour answering service) quoting reference RM383/BD.

Closing date: 24th October 1986.
The Council intends to decentralise its services, therefore the duties, hours of work or location of this post may be subject to change.

HACKNEY COUNCIL
Working for local people

We positively welcome applications from black people, disabled people and women where they are under-represented in particular jobs.

ALAN HAZELWOOD ARCHITECTS require a YOUNG ARCHITECT

with minimum of 3 years experience and a
TECHNICIAN
capable of preparing production information with minimum supervision to join a small practice with varied workload including housing, commercial, specialist projects for the handicapped and renovation work to listed buildings.
Please write with C.V. to:
Alan Hazelwood RIBA
Alan Hazelwood Architects
26 Hitchin Street, Bingley, Wetherby, Leeds LS18 5AX

B H FOUNTAIN RANAGAN ASSOCIATES

2 St Johns Road, Tunbridge Wells
Kent TN4 9NP
require an energetic, enthusiastic, experienced
**ASSISTANT ARCHITECT/
ARCHITECTURAL ASSISTANT**
capable of the fast efficient production of working drawings and specifications.
Telephone Tunbridge Wells 50741 or 51525

TOWER HAMLETS HEALTH AUTHORITY, DISTRICT CENTRAL SERVICES
The Department of a busy London Teaching District, based at Whitechapel, has a small Projects Section which is engaged in the design and management of building and engineering capital projects.

PROJECTS TEAM LEADER
(WO3) Salary £13,189-£15,443 (Inclusive of London Weighting)
To advise Projects Team Leader on mechanical and electrical engineering aspects of schemes.

ENGINEER
(WO1) Salary £10,943-£13,701 (Inclusive of London Weighting)
To advise Projects Team Leader on mechanical and electrical engineering aspects of schemes.

ARCHITECTURAL YEAR OUT STUDENT
Salary £4,845-£5,944 (Inclusive of London Weighting)
Qualification: RIBA Part 1, Duration: 6-18 months. Duties will involve gaining experience in measuring, surveys, design and presentation, drawings and contract management. Hours of work for each post is 37 per week.

Further details from Mr Shoemaker or Mr Mallin on 01-377 7741.
Closing date: 14th November 1986

METROPOLITAN BOROUGH OF SEFTON

PLANNING DEPARTMENT ASSISTANT PLANNER (URBAN DESIGN)

(Scale 4/SO1: £7,311-£11,271)

This post presents an ideal career development opportunity for a planner/architect wishing to gain experience in the urban design aspects of town planning.
Sefton is a Metropolitan district which provides an unusually varied planning workload. Stretching from Bootle in the South to Southport in the North the Borough includes inner urban areas, areas of suburban growth, an extensive Green Belt, coastal and countryside features of outstanding value and important conservation areas.

The post is located in a busy section of the Planning Department responsible for statutory local plans, town centre studies, design briefs and a variety of local policy matters. There is an important component of this workload which requires skills in urban design and visual presentation. The post is for an assistant planner who can meet these special requirements whilst being able to contribute to the other aspects of the section's work.

Candidates should be qualified to degree level in planning, architecture or urban design, or a combination of these.

Car allowance, removal expenses and lodging allowance are payable in approved cases.

Application forms and further details can be obtained from the Borough Planning Officer, Vermont House, 378 Stanley Road, Bootle, Merseyside L20 3RY. Telephone 051 833 6011 Ext 3886.

Closing Date: 27 October 1986

1786 1786 1786

Two centuries strong and building

Architect and Technicians Uxbridge

The design department of Lovell Construction Services Limited is based in Uxbridge and provides a comprehensive architectural and engineering design service to the Lovell Group in the full range of housing, commercial and industrial design and construct projects. We currently require the following staff:-

Architect — Housing

Applications are invited from qualified architects aged 30 to 40 who are able to show proven aptitude, ability and flair in innovative housing and site layout design. The successful applicant will handle all stages of private housing development, partnership housing and retirement homes schemes. If you are self motivated and feel you have the ability to motivate others we would like to hear from you.

Architectural Technicians

Applications are invited from young people who have completed their training, gained a variety of experience, and achieved HNC/Dip or equivalent. Successful applicants will have the opportunity to gain further experience in a range of design and detailing work from housing through to industrial and commercial projects.

We will offer a realistic salary with excellent employment conditions including pension/life assurance scheme.

Please apply with brief career and personal details to:
Personnel Manager, Lovell Group, Lovell House, 616 Chiswick High Road, London W4 8RX, or telephone for an application form on 01-747 3311.

Lovell

THE CHARTER PARTNERSHIP LIMITED

We are a very busy and expanding practice requiring additional staff at intermediate and senior levels.

An opportunity to work on varied numerous and interesting projects in a pleasant and informal environment is offered.

Applications in writing or by telephone from Architects and Technicians should be made to:-

The Company Secretary,
15 St. Mary's House, Cardington Road,
Bedford MK42 0BP.
Telephone: 0234 42851.

GREAT OPPORTUNITIES

We require the services of
SENIOR PROJECT ARCHITECTS
who have had at least 5 years recent UK experience and who are capable of administering the construction of multi-million pound commercial developments.

Apply in writing with CV to:
The Halpern Partnership
Leonard House
9/15 Leonard Street
London EC2A 4HP

INTERNATIONAL DEVELOPMENT CONSULTANTS

require experienced SENIOR TECHNICIAN INTERIOR DESIGNER

conversant with
• Building & land levelling
• Quick drafting techniques
• Perspective presentation
• Specification writing and detailing
• Letting and controlling contracts
• Measuring for valuations

Salary negotiable with usual company benefits.

Curriculum Vitae to:
Diamond Crews FRIBA

CREWS & Co.

ARCHITECTS SURVEYORS
DEVELOPMENT CONSULTANTS

15 BERKELEY STREET
MAYFAIR
LONDON W1X 5AE
TELEPHONE: 01 629 0577

Design & Construct Co-ordinator

A Design and Construct Co-ordinator is required in a progressive department specialising in commercial and industrial developments for the private sector.

This appointment will suit a man or woman with technical background, commercial flair, sound construction knowledge and pleasant personality. Preference will be given to candidates with previous co-ordination/project management experience. The candidate will be responsible for:

* Arranging sketch proposals/schematic drawings and surveys required for planning permission and budget prices.

* Co-ordination of internal departments (taking-off, buying, estimating, planning, etc.) involved in the preparation of tenders and other pre-contract activities.

* Co-ordination of external design Consultants employed for both tender and post-contract design.

* Management of projects in progress ensuring a smooth exchange of information between design and construction teams.

* Maintaining a close post-contract relationship with Clients. Salary is negotiable depending upon age and experience.

Please write giving details of career and salary progression to: Personnel Department, Rush & Tompkins Group Plc, Marlborough House, Station Road, Sidcup, Kent DA15 7BP. Tel: 01-300 3388.

R+T

CONSTRUCTION

Renton Howard Wood Levin Partnership

RHWL

77 Endel Street
London WC2H 9AJ

A young
ARCHITECT
is required to join a team working on a high spec new office headquarters building.

Please apply with C.V. marking your application "Offices" to:

Janette Payne at the above address.

PICK EVERARD KEAY & GIMSON

require an
ARCHITECTURAL TECHNICIAN
with at least 3 years commercial experience to work in their small branch office in
COVENT GARDEN

to take responsibility on all aspects of fast moving retail projects throughout the U.K.

Please write with C.V. to:
Pick Everard Keay & Gimson
15/13 Henrietta Street
Covent Garden, London WC2E 8HL

DIRECT WORKS DEPARTMENT

The Department is re-organising its Technical and Consultancy Division because of increasing workload and Council commitment to decentralised services with maximum tenants' user participation. Fifteen local teams of Building Surveyors will be established. The Division is responsible for managing the Building maintenance and refurbishment programme to the property stock of 88,800 houses and 1,800 public buildings. The current programme is valued in excess of £20M.

If you want a management opportunity demanding commitment to providing a technical service which identifies, specifies, commissions and supervises building maintenance and programmed refurbishment work, with a commitment to full user participation then we want to hear from you. We need Professional Qualified Surveyors, Chartered Builders or Architects for the following:

Area Management Surveyor dwo1
3 posts
PO3 £13,863-£14,882

Minimum 3 years' post qualification experience of managing a team of surveying staff.

To lead, direct and motivate teams of building surveyors within a series of defined locations, incorporating one third of the Council's property stock. The team will provide a comprehensive technical service to determine the condition of the property stock. You will develop, formulate and implement Divisional policies and standard practices, including internal job training and presentation of overall staff budget information. You will be responsible for collation and presentation of Annual Budgets for building maintenance works on a Committee basis.

Programme Surveyor and Special Projects Co-ordinator dwo2
PO3 £13,863-£14,882

Minimum 3 years' post qualification experience of managing a team of surveying staff.

To lead and direct a team which will formulate and implement the short and long term programme strategies, including development of standard practices and procedures. You will also be responsible for the on-site inspection of special projects on building defects, the remedy of which may have a wider standard practical application. And you will develop the computerised capital programme monitoring system for reporting progress to Council Committees and the Management Team.

Principal Group Surveyors dwo3
18 posts
PO1/2 £11,882-£13,863

Minimum 1 year post qualification experience of managing a team of building surveyors.

To lead and direct teams of building surveyors within defined locations incorporating one third of the Council's property stock. You will be responsible for detailed survey, specification and tendering for works to all types of buildings for major/minor repairs, minor improvements and refurbishments. And you will provide a localised comprehensive technical building service for the client, building user and tenants.

Principal Quantity Surveyor dwo4
PO3 £13,863-£14,882

Minimum 3 years' post qualification experience of managing a team of surveying staff.

To lead and direct a team of quantity surveyors within the Division dealing with all aspects of pre and post contract duties including preparation of contract documents, agreement of interim valuations and final accounts, and settlement of claims. Good working knowledge of building contracts is essential as is ability to motivate staff.

Group Leader Quantity Surveyors
dwo5 3 posts
PO1/2 £11,882-£13,863

Minimum 1 years' experience of managing a team of quantity surveyors. To lead and direct teams of quantity surveyors within defined geographical locations incorporating one third of the City Council's property stock, and responsible for the activities of a group of surveyors and all aspects of pre and post contract duties including preparation of contract documents, agreement and interim valuation and final accounts and settlements of claims.

The above posts carry a usual user allowance.

All the above posts are eligible for job share.
Application forms from The City of Manchester Direct Works Department, Personnel Section, PO Box 31, Salisbury House, Granby Row, Manchester M60 1LD. Tel. 061 226 3488 Ext. 280. Closing date 24th October, 1986.

The City Council operates a Union Membership Agreement under which a new employee is required to become a member of a recognised Trade Union.

Manchester City Council is an Equal Opportunity Employer, and we encourage applications from women and men regardless of their racial, ethnic or national origin. Disability, age up to 65, or sex is not a basis for selection or responsibility for dependants.

MANCHESTER City Council
Defending Jobs - Improving Services

HAMPSHIRE



PAUL JONES ARCHITECTS

are seeking

2 ARCHITECTS

Salary Cires £11,500+

We require two enthusiastic, self-motivated, qualified Architects with a minimum of four years office experience to work on varied and interesting Residential and Commercial projects in our new purpose built offices.

Contact: Mandy Napleton esop
Farham (0328) 232007
Wellington House
35 Waterlode Gardens
Farham, Hampshire PO18 8BD

Kenzie Lovell Partnership

Require dynamic
Architects/Assistants

CURRENT expansion in the City has lead to great opportunities and a variety of challenging commercial projects.

IN new premises we are creating a progressive and enjoyable working environment.

FAST career development is assured for self motivated and ambitious Architects and Senior Assistants.

EXCELLENT salaries are available for men and women to the right calibre.

RING David Cole-Adams or Geny Blinmore to arrange a meeting.
113 Southwark Street, London SE1. Tel. 928 8201

Somerset County Council

AN EQUAL OPPORTUNITIES EMPLOYER

ARCHITECTS DEPARTMENT

BUILDING SURVEYOR

(TWO POSTS)

S.O.1 £10,588-£11,271

Two experienced Building Surveyors are required to join existing area teams at offices in Taunton and Street.

Duties of the posts will cover the whole range of Building Surveying work, including major planned maintenance, property survey and assessment of priorities, day to day and minor improvement works.

The County Council has a progressive programme of property care and offers good opportunities for gaining valuable experience in all areas of the profession.

Applicants should hold at least an HNC in Building and preferably be members of the CIOB or RICS. They will need to have a positive approach with experience of large scale maintenance covering all types of property, and be able to make a significant contribution to a very busy section.

Job description and application forms are obtainable from the County Architect, County Hall, Taunton, Somerset. (Tel: Taunton (0823) 73461 Ext. 6386).
Closing Date: Friday, 31st October 1988.

EPPING FOREST DISTRICT COUNCIL

District Engineer & Surveyor's Department

Architectural Assistant

Salary Grade Scale 5/6 £8,724-£10,497 per annum

inclusive plus benefits listed below.

Applications are invited for the above post in the Design Division of the Department based at Loughton. The successful candidate will be required to undertake responsibilities in the design, and administration of building contracts. Applicants should be suitably qualified and have practical drawing office and on site experience.

The drawing office, with a friendly team of existing staff, is modern and the offices are situated in a pleasant town adjacent to Epping Forest.

Staff Benefits include:-
a) Housing Accommodation if required;
b) Relocation expenses scheme up to a maximum of £2,000;
c) Essential user car allowance (not exceeding 1450cc); or
d) Attractive, all inclusive, car leasing scheme;
e) Commuter allowance scheme for staff living more than 25 miles away.

Application form and Job Description may be obtained from the District Personnel Officer, Epping Forest District Council, 323 High Street, Epping, Essex CM16 4BZ. Tel: Epping 77344 Extn: 2101.

Please quote Ref: ES/83
Closing date: 21st October 1988

Epping Forest District Council

Architect or Part II Graduate

minimum 3 years experience, excellent career prospects.

Apply to:-
Joanna Bowman-Powell
Riley & Glenfield
Chartered Architects
4 Raymond Buildings
Grey's Inn, London WC1R 5BP
Tel: 01-548 7388

Derrick Wade & Waters
urgently require

ARCHITECT & ARCHITECTURAL ASSISTANT/TECHNICIAN

to work in their Harlow office, on an expanding and varied workload. Our multi disciplinary office is pleasantly located near Harlow with good access to M11/M25.

Competitive salaries and conditions are offered including the provision of a company car.

Apply in writing with C.V. to:-
CIR Abbott RIBA,
Derrick Wade & Waters
The Old Bakery, High Wyth
Harlow, Essex CM8 0HZ



Architects, Planners, Interior
and Graphic Designers

PRC is a young, progressive and rapidly expanding practice and we urgently require capable people for the following positions

ASSOCIATE LEVEL

Experienced and practical architect who is already an associate or at senior project level.

PROJECT ARCHITECTS, TECHNICIANS AND INTERIOR DESIGNERS

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Above average salaries for the right people with good prospects for promotion

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The salary is within the range of £8090-£15700 per annum. Application forms and further particulars can be obtained from the Personnel Officer, University of Bath, Bath BA2 7AY, quoting reference 86/164.

Closing date for applications: 7th November 1988.

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Salary Range £11,799 - £13,600

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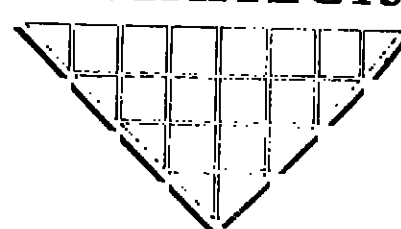
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Enthusiasm, self-motivation and good communication skills are considered essential.

A unique opportunity to move into an exciting, rapidly expanding new field.

Excellent prospects, company car and attractive remuneration package will be offered to the right candidate.

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Tel: Tunbridge Wells (0892) 41688/7

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Architects & Consulting Engineers

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W.O. Scale 2

Salary Scale: £10,742-£13,326 per annum

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Application form and job description obtainable from the District Personnel Department DHO, Whitworth, Sandy Lane, Newport IOW. CLOSING DATE FOR COMPLETED APPLICATIONS: 24th October 1988.

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Lytham-St Annes

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architects and planning consultants

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ARCHITECTURAL ASSISTANTS should have a minimum of ten years experience in an architect's office and be capable of a high standard of draughtsmanship combined with sound constructional knowledge.

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John Spratley and Partners
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ARCHITECTS

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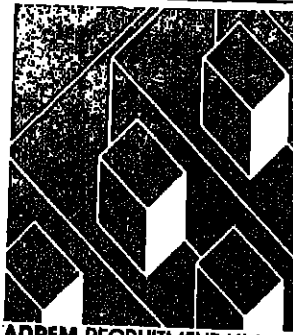
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Young Architect with a practical approach to design. Salary negotiable depending on experience.

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Tel: Reading 235 155/171

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require an
Experienced Architect
(5 years)

Please address CV to:
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Metropolitan Wharf
Wapping Wall
London E1 6SS

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Please telephone Ken Morgan or Alan

Ken Morgan Architects, The Apple House,
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Write with CV to:
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9 Jeffrey's Place
London NW1 9PP

MALLA
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Driving licence essential. Further information and job description form, or send CV to:

East Durham Greenway Trust Ltd
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Thornley Station Industrial Estate
Rotherham, South Yorkshire
S64 6JH
Tel: 01499 254333
Closing date for applications is Monday 10th October 1988

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Technicians required for building construction regulations required. Please write to: Mr. J. Smith, 19 Southdown Avenue, Brighton BN1 3BN. Tel: 01273 28844

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ARCHITECT

needed to join established cooperative practice working on publicly funded new-build and rehab projects in North and East London. We are looking for someone qualified to take charge of projects from inception to completion and share in the running of the practice (formal qualifications are not essential). We positively welcome applications from black people, women and people with disabilities (although we regret there is no wheelchair access to the office). Salary £14,000 basic.

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P.O. 1 £12,287 - £13,280

This post in the Architect's Section supports the Principal Architect within a multi-disciplinary Department headed by the Engineer and Surveyor.

The successful candidate will be highly skilled in design, construction and contract management and will also be an experienced manager, able to motivate staff, control costs and maintain tight programmes.

Applicants must be Registered Architects preferably members of the RIBA with a minimum of 5 years post qualification experience.

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Application forms and job descriptions are available from the Personnel and Management Services Office by telephoning Daventry 71100 extension 222 and should be returned by 17th October 1988.

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£8,785 to £11,234 (including inner London Weighting)

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The teams undertake the design and construction of new courts, Police Stations, Offices, residential buildings, laboratories, computer installations etc. In addition there are vacancies in teams dealing with alteration and extension work offering valuable site experience.

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For Technical Grade 1 you need a City & Guilds Advanced Craft qualification and have served a recognised apprenticeship, or passes at GCE 'O' level or CSE (Grade 1). Several years practical experience are also required.

Application forms and further details are available from the Metropolitan Police Office, Metropolitan Police Office, Room 213 (PSD/AA), 105 Regency Street, London SW1P 4AN or telephone 01-230 3122 (24 hour answering service).

The Metropolitan Police Office is an equal opportunities employer.

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Scale SO1/PO1

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THE VACANCY

is within the Architectural Section of the land and Building Department which is undertaking a demanding design programme covering a wide range of projects. The Department is committed to the use of new technology including computer aided design.

THE SUCCESSFUL CANDIDATE

must be able to work under pressure and demonstrate that he/she can deliver the goods on target and within budget.

QUALIFICATIONS

Registered Architect with 3 years post-qualification experience.

SALARY

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APPLICATION FORMS

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